



City of Columbia

Technical Committee Meeting

January 11, 2022



DEVELOPMENT SERVICES

To: TECHNICAL COMMITTEE MEMBERS

RE: January 11, 2022 MEETING

The Columbia Planning Commission Technical Committee will meet on Tuesday, January 11, 2022 at 11 A.M., in Conference Room A, basement level, City Hall, to consider the following:

- 1. NOT A TECHNICAL REVIEW ITEM**
- 2. NOT A TECHNICAL REVIEW ITEM**
- 3. NOT A TECHNICAL REVIEW ITEM**
- 4. Request from Chapdelaine and Associate for Preliminary Plat approval of East 7th Subdivision on the corner of East 7th and East End.**
- 5. Request from Chapdelaine and Associates for Preliminary Plat approval of Williamsport Subdivision off Williamsport Pike being Tax Map 88 Parcel 70.01.**
- 6. Request from Allison Baldwin to annex with a plan of services property off Nashville Highway being Tax Map 75 Parcel 11.01 with a Planned Unit Development Preliminary Master Plan zoning of RS-40.**
- 7. Request from Lynn Ealey to annex with a plan of services 1686 Lasea Road being Tax Map 73 Parcel 15.00 with a zoning of RS-10.**
- 8. Request from Lynn Ealey to annex with a plan of services 626 Baker Road being Tax Map 74 Parcel 37.00 with a zoning of RS-10.**
- 9. Request from Jimmy Fleming to rezone Parcels 20.25 and 20.26 of Tax Map 66 off North Pointe Road from High Density Residential to Low Density Residential and amending the comprehensive plan from Employment to Rural Residential.**
- 10. Request from Bill Kottas for approval of a Final Master Development Plan and platting of Trotwood Villas being Tax Map 112 Parcel 19.20 off Trotwood Avenue.**
- 11. Request from Martin Engineering for Preliminary Plat approval of Williamsport Pike Subdivision off Oak Springs Drive being Tax Map 88 Parcel 51.00.**



ITEM #4

TECHNICAL COMMITTEE COMMENT FORM

January 11, 2022

NAME OR DEPARTMENT: _____

Case Number: 21-0286

Request from Chapdelaine and Associate for Preliminary Plat approval of East 7th Subdivision on the corner of East 7th and East End.

COMMENTS:

OWNERS CERTIFICATE
 I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN HEREON EVIDENCED IN BOOK NUMBER R-2476 PAGE 89, R-2508 PAGE 396, R-2537 PAGE 351 & R2594 PAGE 678 MAURY COUNTY REGISTERS OFFICE AND THAT I (WE) ADOPT THIS PLAN OF SUBDIVISION OF THE PROPERTY WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC WAYS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED.

DATE _____ OWNER _____
 TITLE (IF ACTION FOR PARTNERSHIP OR CORPORATION) _____

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES
 SUBDIVISION NAME AND STREET NAMES APPROVED BY THE CITY ENGINEERING DEPARTMENT AND BY E-911 MAURY COUNTY
 MAURY COUNTY E911 _____ DATE _____

CERTIFICATE OF APPROVAL FOR SEWER SYSTEM
 I HEREBY CERTIFY THAT THE SEWER SYSTEM OUTLINED OR INDICATED ON THIS FINAL SUBDIVISION PLAT HAS BEEN INSTALLED IN ACCORDANCE WITH THE CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.
 DEPARTMENT OF WASTEWATER DEPARTMENT, COLUMBIA, TENNESSEE DATE _____

CERTIFICATE OF COMPLIANCE
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE COLUMBIA SUBDIVISION REGULATIONS AND OTHER ADOPTED ORDINANCES AND POLICIES.
 CITY ENGINEER, COLUMBIA, TENNESSEE DATE _____

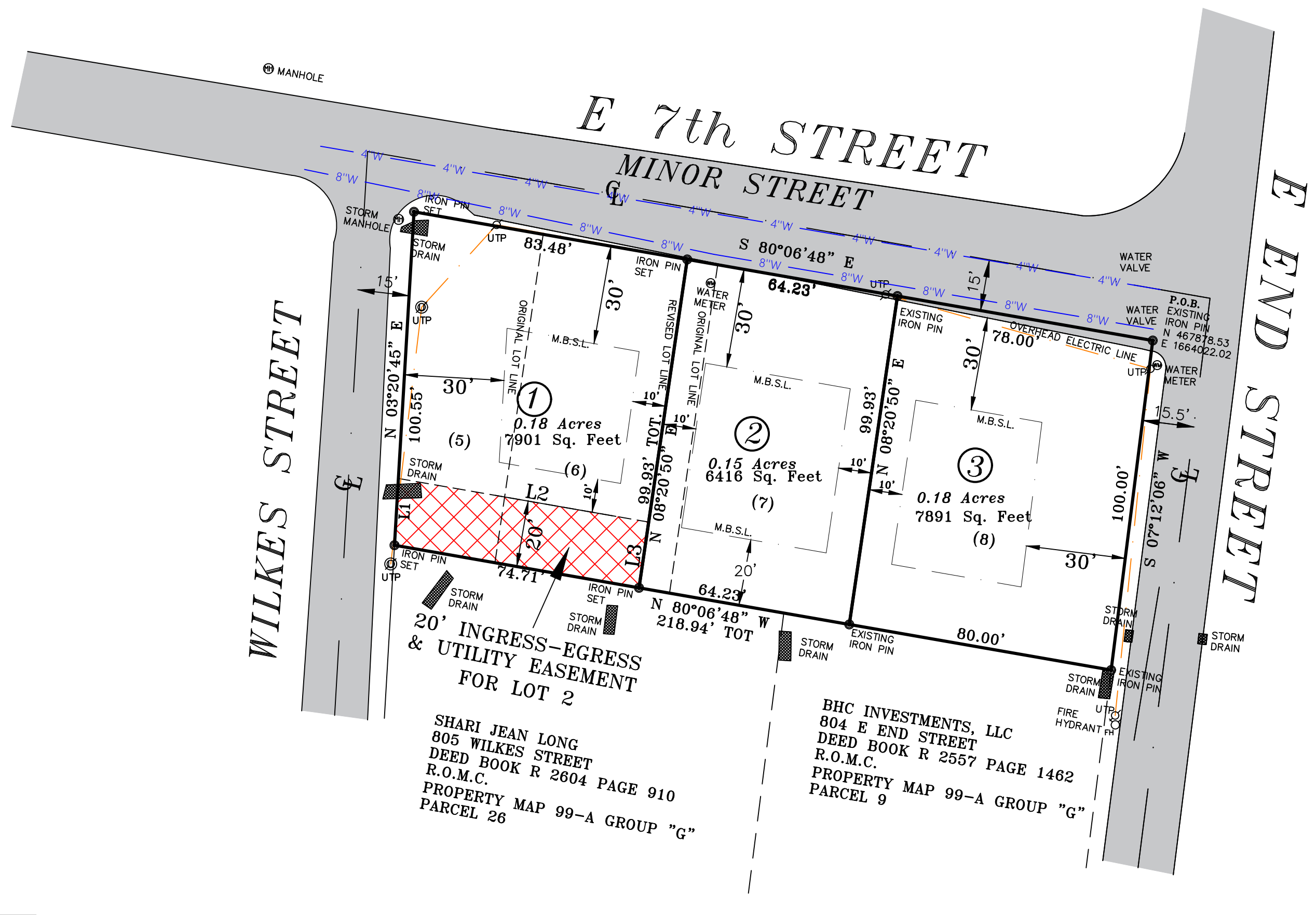
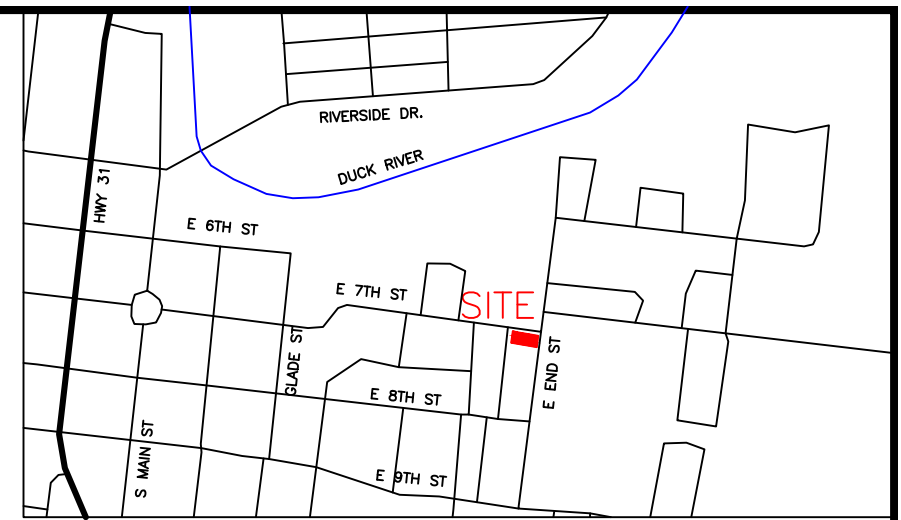
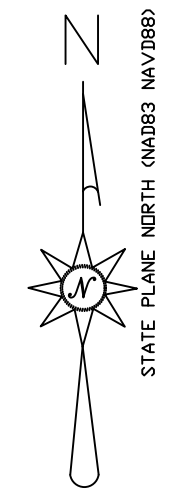
CERTIFICATE OF ACCURACY
 I HEREBY CERTIFY THAT THIS IS A CATEGORY IV SURVEY AND THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION, THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE, AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
 a. REAL TIME KINEMATIC & BASE TOPCON HIPER V
 b. POSITIONAL ACCURACY 0.05 FEET
 c. DATE OF SURVEY 10/14/2019
 d. DATUM/EPOCH NAD83 (2011) EPOCH
 e. PUBLISHED/FIXED CONTROL USED: TDOR CORS NETWORK
 f. GEOID MODEL: GEOID 12B
 g. COMBINED GRID FACTOR 0.99992947
 RANDOLPH L. CHAPDELAIN, R.L.S. # 1444, REGISTERED LAND SURVEYOR DATE 12/17/2021

GENERAL NOTES
 1.) THE PURPOSE OF THIS PLAT IS TO COMBINE 4 LOTS INTO 3 SINGLE FAMILY LOTS.
 2.) ALL DISTANCES SHOWN HEREON ARE BASED UPON A FIELD-RUN SURVEY USING E.D.M. EQUIPMENT, AND ARE ADJUSTED FOR TEMPERATURE.
 3.) UTILITIES, IF SHOWN WERE TAKEN FROM VISIBLE STRUCTURES AT THE SITE, VERIFICATION OF THEIR EXISTENCE, LOCATION, SIZE, AND DEPTH SHOULD BE MADE BEFORE MAKING DECISIONS REGARDING THEM. AVAILABILITY OF SERVICE SHOULD BE CONFIRMED WITH APPROPRIATE LOCAL UTILITY COMPANY. TENNESSEE ONE CALL (811) SHOULD BE CALLED BEFORE ANY CONSTRUCTION OR DIGGING.
 4.) THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT. IT IS THEREFORE SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE REPORT.
 5.) THIS PROPERTY IS SUBJECT TO BOTH RECORDED EASEMENTS, AND TO THOSE UNKNOWN TO THIS SURVEYOR.
 6.) THE SUBJECT PROPERTY LIES IN A ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD) AS SHOWN ON FIRM MAP 47119C0285E DATED 04-16-2007.
 7.) THE SUBJECT PROPERTY IS ZONED R-6 ZONING (FRONT 20'; SIDE-10'; REAR-20')
 8.) THERE IS A 10' P.U.D.E. ON ALL PROPERTY LINES PARALLEL AND ABUTTING PUBLIC ROADS AND 5' P.U.D.E. ALONG ALL INTERIOR LOT LINES.
 9.) WATER AND SEWER IS SERVED BY CITY OF COLUMBIA UTILITY DISTRICT.
 10.) TOPOGRAPHY DATUM BASED ON NAVD 1988 TAKEN FROM TENNESSEE LIDAR MAPPING AND FIELD CHECKED.
 11.) BRACKET SHOWN THUS: (5) REPRESENT ORIGINAL PARCEL NUMBERS,

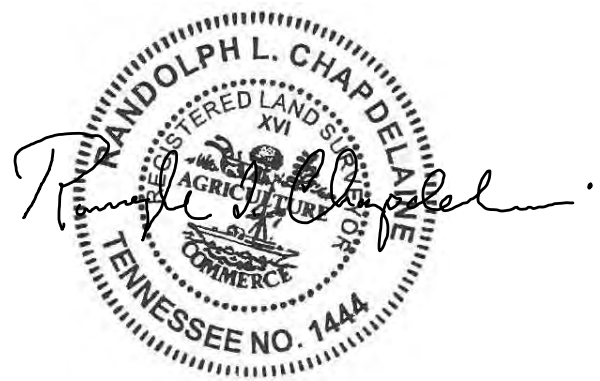
CERTIFICATE OF APPROVAL OF WATER SYSTEM
 I HEREBY CERTIFY THAT THE WATER SYSTEM(S) OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED SCHOOL STREET SUBDIVISION HAS/HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.
 DATE _____ NAME, TITLE, AGENCY OF AUTHORIZED APPROVING AGENT _____

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE COLUMBIA SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
 SECRETARY, PLANNING COMMISSION COLUMBIA, TENNESSEE DATE _____

LOT NO.	911 STREET ADDRESS
1	610 E 7th STREET
2	614 E 7th STREET
3	616 E 7th STREET



- LEGEND**
- = UNDERGROUND ELECTRIC LINE
 - = OVERHEAD ELECTRIC LINE
 - x = FENCE
 - = WATER LINE
 - = SEWER LINE
 - = GAS LINE
 - ⊕ = WELL
 - UTP ⚡ = UTILITY POLE
 - ⊗ = IRON PIN SET UNLESS NOTED
 - = POINT
 - ⊕ = FIRE HYDRANT
 - ⊗ = ELECTRIC METER
 - ⊗ = WATER METER
 - ⊗ = GAS METER
 - ⊗ = SEWER MANHOLE



CHAPDELAIN & ASSOCIATES
 7376 WALKER ROAD
 FAIRVIEW, TENNESSEE 37062
 (615) 799 - 8104
 chapsurveyors@msn.com
 Randolph L. Chapdelaine TN. P.L.S. #1444

FINAL PLAT
E 7th STREET 3 LOT SUBDIVISION
FOR HABITAT FOR HUMANITY
WILLIAMSON-MAURY, INC.
 610, 612, 614 & 616 E. 7th STREET
 610 E 7th STREET DEED BOOK R2594 PAGE 678 PROPERTY MAP 99-A GROUP "G" PARCEL 5
 612 E 7th STREET DEED BOOK R2537 PAGE 351 PROPERTY MAP 99-A GROUP "G" PARCEL 6
 614 E 7th STREET DEED BOOK R2508 PAGE 396 PROPERTY MAP 99-A GROUP "G" PARCEL 7
 616 E 7th STREET DEED BOOK R2476 PAGE 89 PROPERTY MAP 99-A GROUP "G" PARCEL 8
 9th CIVIL DISTRICT OF MAURY COUNTY, CITY OF COLUMBIA,
 TENNESSEE
 DATE: DECEMBER 17, 2021



JOB # 5684



ITEM #5

TECHNICAL COMMITTEE COMMENT FORM

January 11, 2022

NAME OR DEPARTMENT: _____

Case Number: 21-0287

Request from Chapdelaine and Associates for Preliminary Plat approval of Williamsport Subdivision off Williamsport Pike being Tax Max 88 Parcel 70.01.

COMMENTS:

GENERAL NOTES

- 1.) THE PURPOSE OF THIS PLAT IS TO CREATE A 25 LOT SUBDIVISION.
- 2.) ALL DISTANCES SHOWN HEREON ARE BASED UPON A FIELD--RUN SURVEY USING E.D.M. EQUIPMENT AND OR ALL GPS, AND ARE ADJUSTED FOR TEMPERATURE.
- 3.) UTILITIES, IF SHOWN WERE TAKEN FROM VISIBLE STRUCTURES AT THE SITE, VERIFICATION OF THEIR EXISTENCE, LOCATION, SIZE, AND DEPTH SHOULD BE MADE BEFORE MAKING DECISIONS REGARDING THEM. AVAILABILITY OF SERVICE SHOULD BE CONFIRMED WITH APPROPRIATE LOCAL UTILITY COMPANY. TENNESSEE ONE CALL (811) SHOULD BE CALLED BEFORE ANY CONSTRUCTION OR DIGGING.
- 4.) THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT. IT IS THEREFORE SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE REPORT.
- 5.) THIS PROPERTY IS SUBJECT TO BOTH RECORDED EASEMENTS, AND TO THOSE UNKNOWN TO THIS SURVEYOR.
- 6.) THE SUBJECT PROPERTY LIES IN A ZONE "X" (AREAS OUTSIDE OF THE 100 YEAR FLOOD PLAIN) AS SHOWN ON FIRM MAP 47119C0285E DATED 04-16-2007.
- 7.) PROPERTY ZONED RM-1
SETBACKS ARE FRONT=20'/30'; SIDE =7'/ 15' TOTAL; REAR=20'
- 8.) THERE IS A 10' P.U.D.E. ON ALL PROPERTY LINES PARALLEL AND ABUTTING PUBLIC ROADS AND 5' P.U.D.E. ALONG ALL INTERIOR LOT LINES.
- 9.) POWER & WATER SERVED BY CPWS COLUMBIA POWER & WATER SYSTEMS.
- 10.) SEWER IS SERVED BY COLUMBIA WASTEWATER DEPARTMENT.
- 11.) NO DRIVEWAY ACCESS OFF WILLIAMSPORT PIKE.

LEGEND

- UNDERGROUND ELECTRIC LINE
- OVERHEAD ELECTRIC LINE
- FENCE
- WATER LINE
- SEWER LINE
- GAS LINE
- ⊕ = WELL
- UTP ⚡ = UTILITY POLE
- ⊙ = IRON PIN SET UNLESS NOTED
- = POINT
- ⊕ = FIRE HYDRANT
- ⊕ = ELECTRIC METER
- ⊕ = WATER METER
- ⊕ = WATER VALVE
- ⊕ = GAS METER
- ⊕ = SEWER MAN HOLE

SEWER STRUCTURE

EXISTING MH #1	ML TOP 814.97 8" S. IN 816.59 8" E. IN 814.23 8" W. OUT 814.17
EXISTING MH #2	ML TOP 824.86 4" PLASTIC SE. IN 823.85 8" S. IN 818.86 8" W. OUT 818.86
EXISTING MH #3	ML TOP 820.31 8" S. IN 823.07 8" W. OUT 823.35
EXISTING MH #4	ML TOP 833.24 8" S. IN 827.12 8" W. OUT 827.03
EXISTING MH #5	ML TOP 830.32 8" S. IN 830.74 8" W. OUT 830.66

**ELLA MAE PYLIANT
MAPLES PYLIANT
1963 WILLIAMSPORT PIKE
DEED BOOK 659 PAGE 391 R.O.M.C.
PROPERTY MAP 88 PARCEL 61
ZONE RS-40**

**BOBBY R ANDREWS
VICKI LYNN ANDREWS
1835 GETTYSBURG LANE
DEED BOOK 609 PAGE 542 R.O.M.C.
PROPERTY MAP 88 PARCEL 62
ZONE RS-40**

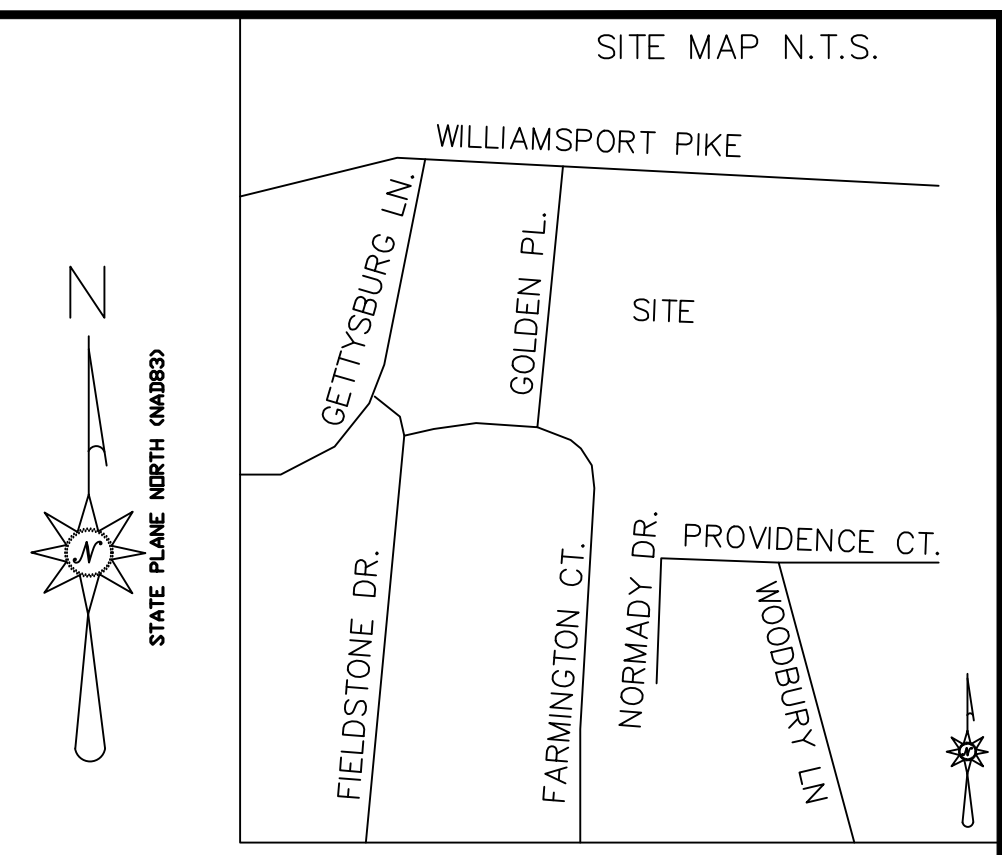
**FIELDSTONE FARMS
SECTION 1
PLAT BOOK 13 PAGES 195 &
196**

**BARRY FARRIS
MARTHA FARRIS
1888 PROVIDENCE CT
DEED BOOK R2284 PAGE 450 R.O.M.C.
PROPERTY MAP 88 PARCEL 59
PLAT BOOK 18 PAGE 147
ZONE RM-1**

**FIELDSTONE FARMS/
SECTION 4
PLAT BOOK P18 PAGE 148**

LEGEND

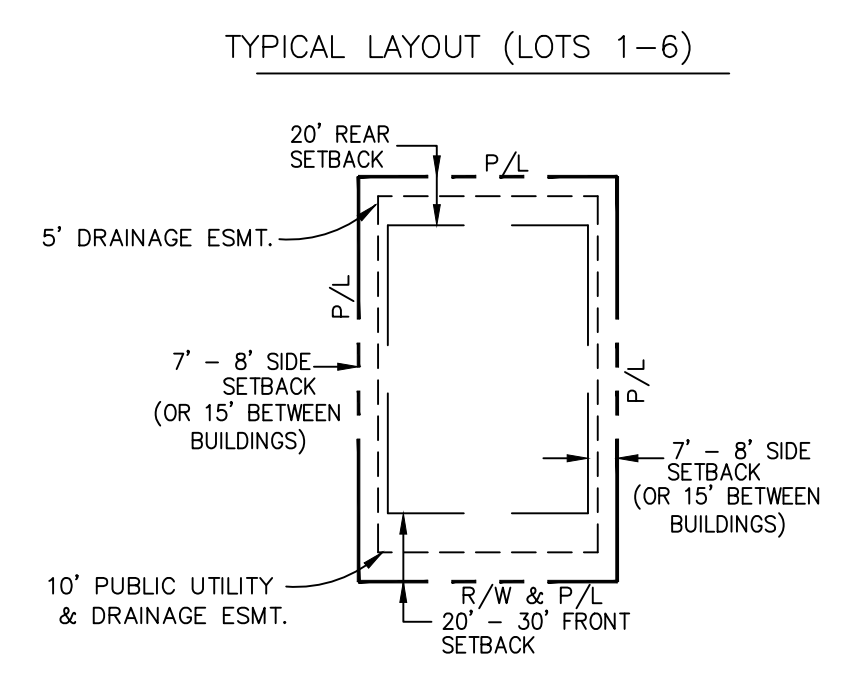
- UNDERGROUND ELECTRIC LINE
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- ⊕ = WATER VALVE
- ⊕ = GAS METER
- ⊕ = SEWER MAN HOLE



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.01'	40.49'	36.21'	N 24°36'55" W	82°46'34"
C2	25.00'	138.34'	134.48'	N 65°33'05" E	89°11'21"
C3	311.70'	188.97'	68.83'	N 62°54'33" W	12°40'58"
C4	311.70'	187.10'	96.71'	N 47°38'48" W	17°50'56"
C5	295.87'	128.95'	283.77'	N 113°38'38" W	57°18'47"
C6	329.33'	181.75'	81.54'	N 61°46'54" W	14°13'22"
C7	255.64'	114.32'	113.37'	S 39°52'24" E	25°37'18"
C8	255.64'	102.75'	137.49'	S 04°20'44" E	45°28'42"

LINE	BEARING	DISTANCE
L47	N 21°12'12" E	4.92'
L48	N 21°12'10" E	122.60'
L49	S 23°45'41" W	109.39'

PROPERTY	SQ FT
LOT 1	6,405 ft ²
LOT 2	6,000 ft ²
LOT 3	6,000 ft ²
LOT 4	8,482 ft ²
LOT 5	7,545 ft ²
LOT 6	9,313 ft ²
LOT 7	9,257 ft ²
LOT 8	10,190 ft ²
LOT 9	10,215 ft ²
LOT 10	9,665 ft ²
LOT 11	11,360 ft ²
LOT 12	20,469 ft ²
LOT 13	36,264 ft ²
LOT 14	11,915 ft ²
LOT 15	9,811 ft ²
LOT 16	8,460 ft ²
LOT 17	17,824 ft ²
LOT 18	12,560 ft ²
LOT 19	12,200 ft ²
LOT 20	12,198 ft ²
LOT 21	12,201 ft ²
LOT 22	12,200 ft ²
LOT 23	12,721 ft ²
LOT 24	12,408 ft ²
LOT 25	12,108 ft ²

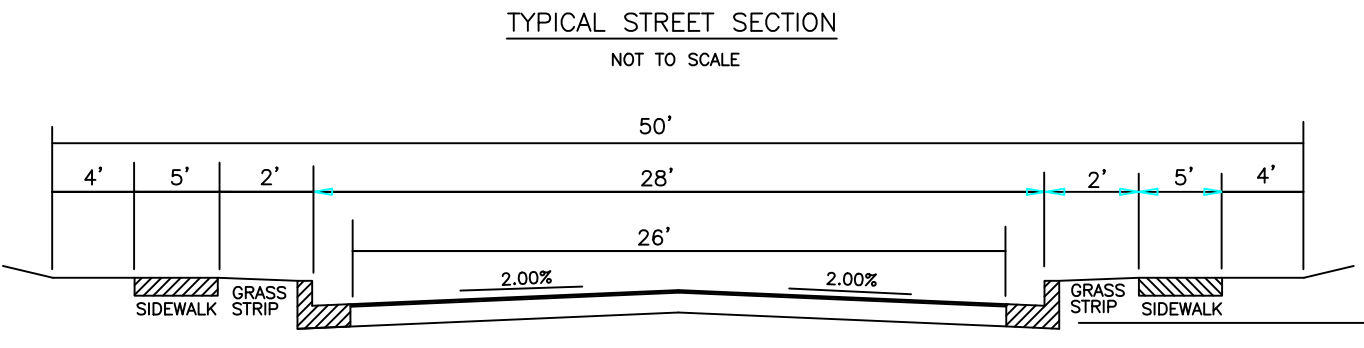


ALL FIRST FLOOR ELEVATIONS TO BE ABOVE 622 ELEVATION DUE TO POSSIBLE FLOODING

NATURAL RESOURCE PROTECTION NOTES

1. WATERWAY NATURAL AREA (WNA)
 - 1.1. ANY WATERWAY NATURAL AREA SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS AND WHICH RESTRICT DISTURBANCE AND USE OF THESE AREAS.
 - 1.2. WITHIN THE WATERWAY NATURAL AREA, THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE MAURY COUNTY ENGINEERING DEPARTMENT.
 - 1.3. WATERWAY NATURAL AREAS (WNA) EXIST ON ALL INTERMITTENT OR PERENNIAL STREAM WATERWAYS AS DEFINED IN THE WILLIAMSON COUNTY STORM WATER MANAGEMENT REGULATIONS. FOR MORE INFORMATION OR ASSISTANCE IN APPLYING THESE REGULATIONS, PLEASE CONTACT THE CITY OF COLUMBIA ENGINEERING DEPARTMENT AT (931) 560 - 1500.

- CITY OF COLUMBIA RESIDENTIAL LOCAL STREET MINIMUM REQUIREMENTS
1. 1 1/2" ASPHALTIC CONCRETE SURFACE (GRADING E) ITEM NO. 411-01.11
 2. TACK COAT (RS-2) ITEM NO. 403-01
 3. 2" ASPHALTIC CONCRETE BASE (GRADING B) ITEM NO. 307-01.06
 4. PRIME COAT (AE-P) ITEM NO 402-01
 5. 8" STONE (GRADING D PUG MILL MIX) NO. 303-01
 6. APPROVED COMPACTED SUBGRADE



I hereby certify that this a category IV survey and that this map was drawn under my supervision from an actual GPS survey made under my supervision and the following information was used to perform the survey:

- (a) REAL TIME KINEMATIC & BASE SOKKIA GRX3
- (b) POSITIONAL ACCURACY 0.05 FEET
- (c) DATE OF SURVEY FEBRUARY 1, 2021
- (d) DATUM/EPOCH NAD83 (2011) EPOCH
- (e) PUBLISHED/FIXED CONTROL USED: TDOT CORS NETWORK
- (f) GEIOD MODEL: GEIOD 12B
- (g) COMBINED GRID FACTOR: 0.99992837

THE SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE.

Randolph L. Chapdelaine
 RANDOLPH L. CHAPDELAINE P.L.S. #1444
 12/16/2021
 DATE

UTILITY OWNERS

WATER
 COLUMBIA POWER & WATER
 201 PICKENS LANE
 COLUMBIA, TN 38401
 (931) 388-4833

ELECTRIC
 COLUMBIA POWER & WATER
 201 PICKENS LANE
 COLUMBIA, TN 38401
 (931) 388-4833

SEWER
 COLUMBIA WASTEWATER SYSTEM
 1244 TREATMENT PLANT ROAD
 COLUMBIA, TN 38401
 (931) 388-4833

GAS
 ATMOS ENERGY CORP.
 810 NASHVILLE HWY
 COLUMBIA, TN 38401
 (931) 388-9136

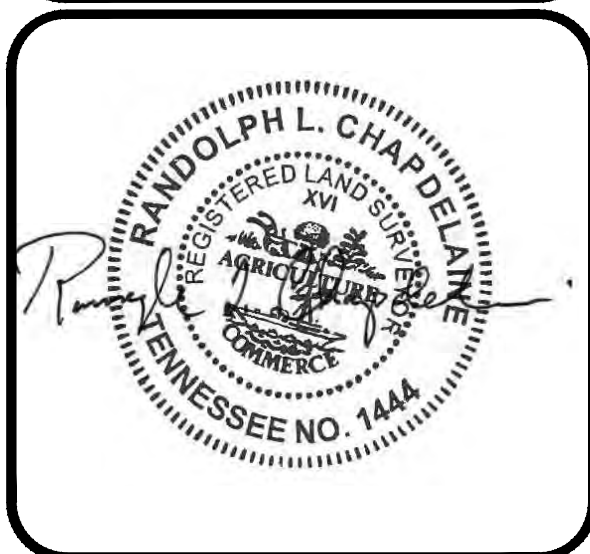
TELEPHONE
 BELLSOUTH
 1-888-757-6500

IF YOU DIG TENNESSEE...
 CALL US FIRST!
 811
 TENNESSEE ONE CALL
 IT'S THE LAW

PRELIMINARY PLAT
WILLIAMSPORT
 HABITAT FOR HUMANITY WILLIAMSON-MAURY
 OWNER'S ADDRESS: 511 W MEADE BLVD,
 FRANKLIN, TN 37064
 PROPERTY ADDRESS: WILLIAMSPORT PIKE
 COLUMBIA, TENNESSEE 38401
 DEED BOOK R-2495 PAGE 1181
 TAX MAP 88 PARCEL 70.01
 9th CIVIL DISTRICT OF MAURY COUNTY, TENNESSEE
 DATE: DECEMBER 16, 2021
 TOTAL ACRES = 9.52 ACRES
 NEW ROADS = 1.08 ACRES; LINEAR FEET = 982.25'
 ZONED RM-1
 JOB # 6171

SCALE 1" = 50'

CHAPDELAINE & ASSOCIATES
 Land Surveying
 7376 WALKER ROAD
 Fairview, Tennessee 37062
 (615) 799-8104 Office
 chapsurveyors@msn.com



**PRELIMINARY PLAT
 MASTER PLAN**
WILLIAMSPORT
 9TH CIVIL DISTRICT
 COLUMBIA, MAURY COUNTY, TENNESSEE

General Notes

No.	Revision/Issue	Date

Date: DECEMBER 16, 2021
 Scale: 1" = 100'
V-1.1
 SHEET 1 OF 2

GENERAL NOTES

- 1.) THE PURPOSE OF THIS PLAT IS TO CREATE A 6 LOT SUBDIVISION.
- 2.) ALL DISTANCES SHOWN HEREON ARE BASED UPON A FIELD-RUN SURVEY USING E.D.M. EQUIPMENT AND OR ALL GPS, AND ARE ADJUSTED FOR TEMPERATURE.
- 3.) UTILITIES, IF SHOWN WERE TAKEN FROM VISIBLE STRUCTURES AT THE SITE, VERIFICATION OF THEIR EXISTENCE, LOCATION, SIZE, AND DEPTH SHOULD BE MADE BEFORE MAKING DECISIONS REGARDING THEM. AVAILABILITY OF SERVICE SHOULD BE CONFIRMED WITH APPROPRIATE LOCAL UTILITY COMPANY. TENNESSEE ONE CALL (811) SHOULD BE CALLED BEFORE ANY CONSTRUCTION OR DIGGING.
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- 11.) NO DRIVEWAY ACCESS OFF WILLIAMSPORT PIKE.

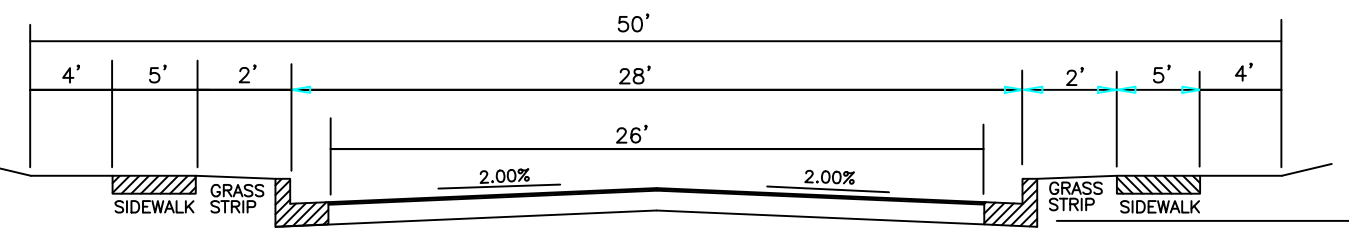
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1. WATERWAY NATURAL AREA (WNA)
 - 1.1. ANY WATERWAY NATURAL AREA SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS AND WHICH RESTRICT DISTURBANCE AND USE OF THESE AREAS.
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 - 1.3. WATERWAY NATURAL AREAS (WNA) EXIST ON ALL INTERMITTENT OR PERENNIAL STREAM WATERWAYS AS DEFINED IN THE WILLIAMSON COUNTY STORM WATER MANAGEMENT REGULATIONS. FOR MORE INFORMATION OR ASSISTANCE IN APPLYING THESE REGULATIONS, PLEASE CONTACT THE CITY OF COLUMBIA ENGINEERING DEPARTMENT AT (931) 560 - 1500.

CITY OF COLUMBIA RESIDENTIAL LOCAL STREET MINIMUM REQUIREMENTS

1. 1 1/2" ASPHALTIC CONCRETE SURFACE (GRADING E) ITEM NO. 411-01.11
2. TACK COAT (RS-2) ITEM NO. 403-01
3. 2" ASPHALTIC CONCRETE BASE (GRADING B) ITEM NO. 307-01.06
4. PRIME COAT (AE-P) ITEM NO 402-01
5. 8" STONE (GRADING D PUG MILL MIX) NO. 303-01
6. APPROVED COMPACTED SUBGRADE

TYPICAL STREET SECTION
NOT TO SCALE



I hereby certify that this a category IV survey and that this map was drawn under my supervision from an actual GPS survey made under my supervision and the following information was used to perform the survey:

- REAL TIME KINEMATIC & BASE SOKKIA GRX3
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 - GEOID MODEL: GEOID 12B
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- THE SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE.

Randolph L. Chapdelaine
RANDOLPH L. CHAPDELAINE P.L.S. #1444
12/16/2021
DATE

SEWER STRUCTURE	
EXISTING MH #1	MH TOP 619.97' 8" S. IN 616.59' 8" E. IN 614.23' 8" W. OUT 614.17'
EXISTING MH #2	MH TOP 624.65' 4" PLASTIC SE. IN 621.65' 8" E. IN 616.90' 8" W. OUT 616.88'
EXISTING MH #3	MH TOP 630.31' 8" S. IN 623.51' 8" W. OUT 623.35'
EXISTING MH #4	MH TOP 633.24' 8" E. IN 627.13' 8" N. OUT 627.03'
EXISTING MH #5	MH TOP 636.35' 8" S. IN 630.74' 8" W. OUT 630.66'

PHASE 1
49,515 ft²
1.1367 ACRE

ELLA MAE PYLANT
MAPLES PYLANT
1983 WILLIAMSPORT PIKE
DEED BOOK 659 PAGE 391 R.O.M.C.
PROPERTY MAP 88 PARCEL 61
ZONE RS-40

BOBBY R ANDREWS
VICKI LYNN ANDREWS
1835 GETTYSBURG LANE
DEED BOOK 609 PAGE 542 R.O.M.C.
PROPERTY MAP 88 PARCEL 62
ZONE RS-40

FIELDSTONE FARMS
SECTION 1
PLAT BOOK 13 PAGES 195 &
196

LEGEND

- E- UNDERGROUND ELECTRIC LINE
- E- OVERHEAD ELECTRIC LINE
- X- FENCE
- W- WATER LINE
- S- SEWER LINE
- G- GAS LINE
- ⊕ WELL
- UTP UTILITY POLE
- IRON PIN SET UNLESS NOTED
- POINT
- ⊕ FIRE HYDRANT
- ⊕ ELECTRIC METER
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ GAS METER
- ⊕ SEWER MAN HOLE

UTILITY OWNERS

WATER
COLUMBIA POWER & WATER
201 PICKENS LANE
COLUMBIA, TN 38401
(931) 388-4833

ELECTRIC
COLUMBIA POWER & WATER
201 PICKENS LANE
COLUMBIA, TN 38401
(931) 388-4833

SEWER
COLUMBIA WASTEWATER SYSTEM
1244 TREATMENT PLANT ROAD
COLUMBIA, TN 38401
(931) 388-4833

GAS
ATMOS ENERGY CORP.
810 NASHVILLE HWY
COLUMBIA, TN 38401
(931) 388-9136

TELEPHONE
BELLSOUTH
1-888-757-6500



IF YOU DIG TENNESSEE...
CALL US FIRST!
811
TENNESSEE ONE CALL
IT'S THE LAW

PRELIMINARY PLAT

WILLIAMSPORT

HABITAT FOR HUMANITY WILLIAMSON-MAURY
OWNER'S ADDRESS: 511 W MEADE BLVD,
FRANKLIN, TN 37064

PROPERTY ADDRESS: WILLIAMSPORT PIKE
COLUMBIA, TENNESSEE 38401

DEED BOOK R-2495 PAGE 1181

TAX MAP 88 PARCEL 70.01

9th CIVIL DISTRICT OF MAURY COUNTY, TENNESSEE

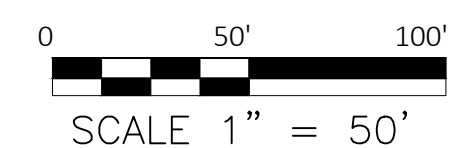
DATE: DECEMBER 16, 2021

TOTAL ACRES = 9.52 ACRES

NEW ROADS = 1.08 ACRES; LINEAR FEET = 982.25'

ZONED RM-1

JOB # 6171



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.01'	40.49'	36.21'	N 24°36'55" W	92°46'34"

ALL FIRST FLOOR ELEVATIONS TO BE ABOVE 622 ELEVATION DUE TO POSSIBLE FLOODING

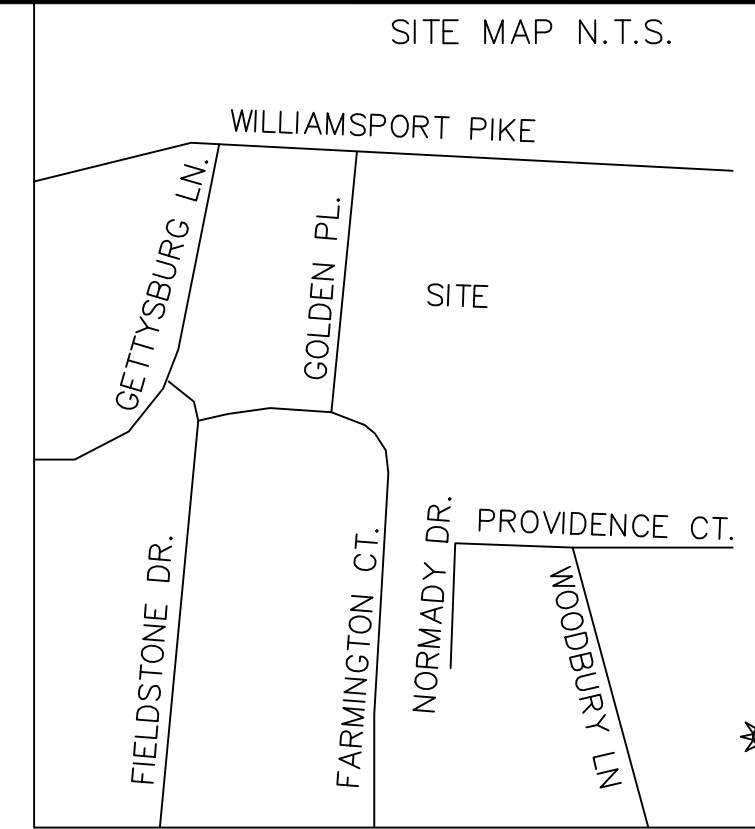
TOTAL
392,097 FT²
PHASE 2
342,582 ft²
7.86 ACRE

PROPERTY	SQ FT
LOT 1	6,405 ft ²
LOT 2	6,000 ft ²
LOT 3	6,000 ft ²
LOT 4	8,482 ft ²
LOT 5	7,545 ft ²
LOT 6	9,313 ft ²

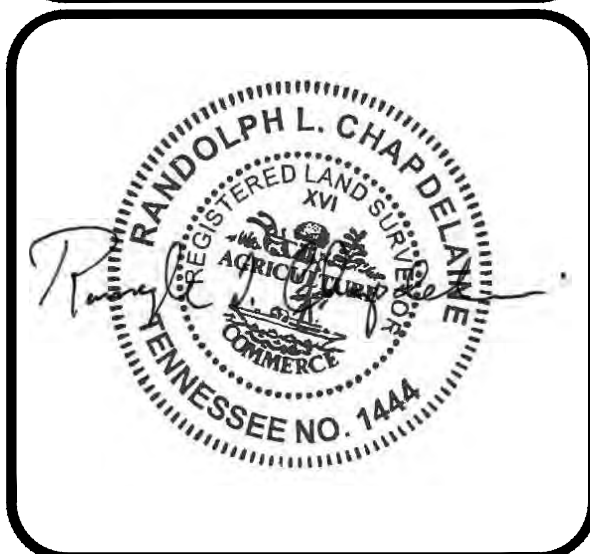
BRIAN & DEANNA CARTER LIVING TRUST
BRAIN KEITH & DEANNA DAWN CARTER
LIVING TRUSTEES
1943 WILLIAMSPORT PIKE
DEED BOOK R2598 PAGE 1055 R.O.M.C.
PROPERTY 88 PARCEL 60.01
ZONE RS-40

PROPOSED NEW ROADWAY
(50' R.O.W.)

ALL FIRST FLOOR ELEVATIONS TO BE ABOVE 622 ELEVATION DUE TO POSSIBLE FLOODING



CHAPDELAINE & ASSOCIATES
Land Surveying
7376 WALKER ROAD
Fairview, Tennessee 37062
(615) 799-8104 Office
chapsurveyors@msn.com



PRELIMINARY PLAT
PHASE I
WILLIAMSPORT
9TH CIVIL DISTRICT
COLUMBIA, MAURY COUNTY, TENNESSEE

No.	Revision/Issue	Date

Date: DECEMBER 16, 2021
Scale: 1" = 50'
V-1.2
SHEET 2 OF 2



ITEM #6

TECHNICAL COMMITTEE COMMENT FORM

January 11, 2022

NAME OR DEPARTMENT: _____

Case Number: 21-0301

Request from Allison Baldwin to annex with a plan of services property off Nashville Highway being Tax Map 75 Parcel 11.01 with a Planned Unit Development Master Plan zoning of RS-40.

COMMENTS:

1752 NASHVILLE HIGHWAY

PRELIMINARY PUD MASTER PLAN

Columbia, Maury County, Tennessee

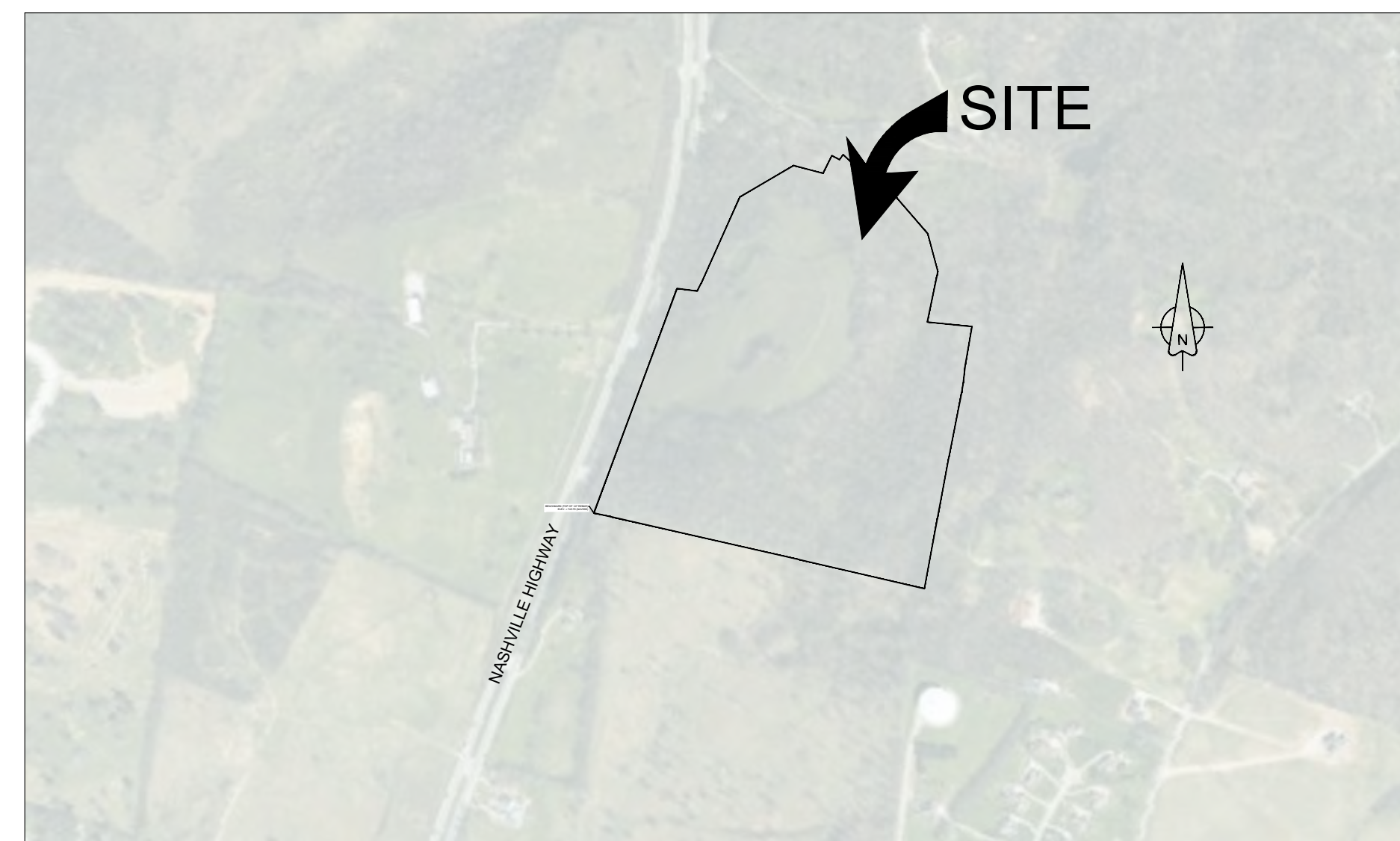
Tax Map 75, PARCEL 011.01

Developer: SMITH CONSTRUCTORS

Chad Smith
JCSmith1988@hotmail.com
(931)698-2607

Engineer:  **T-SQUARE ENGINEERING**
Consulting Civil Engineering
1329 West Main St., Franklin, TN, 37064
(615)370-1443 * Email tim@t2-eng.com

Surveyor:  **T-SQUARE SURVEYING**
Consulting Civil Engineering
1329 West Main St., Franklin, TN, 37064
(615)370-1443 * Email tim@t2-eng.com



VICINITY MAP
N.T.S.

Sheet Schedule

- C-0.0 Cover Sheet
- C-1.0 Existing Conditions
- C-5.0 Grading Plan

REVISIONS

NO. DATE

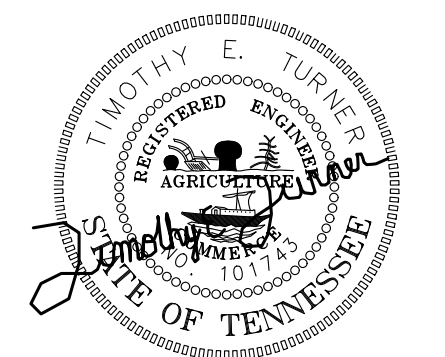
DATE: 12/16/21
SCALE: AS SHOWN
DRAWN BY: T-SQUARE
REVIEWER: TET

COVER SHEET

TAX MAP 75, PARCEL 11.01
COLUMBIA, TN 38401

NASHVILLE HIGHWAY DEVELOPMENT

FLOOD NOTE
NO PORTION OF THIS PROPERTY LIES WITHIN AN AREA DESIGNATED AS FLOOD HAZARD AREA, AS EVIDENCED ON FEMA PANEL #47118C0170E OF MAURY COUNTY, TN, DATED 04/16/2007.
OWNER OF RECORD
CINDY WILLIAMS MAP 075, PARCEL 011.01
APPLICANT
T-SQUARE ENGINEERING 1329 WEST MAIN ST FRANKLIN, TN 37064 615.678.8212

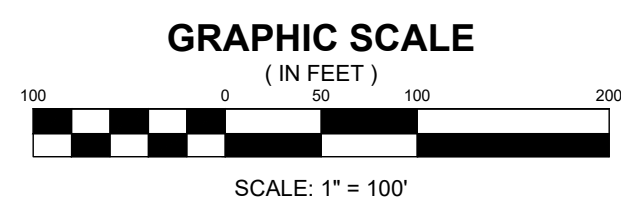
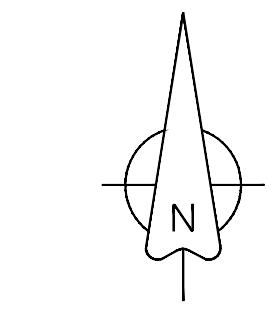


12-16-21

PROJECT
21-0426

SHEET
C-0.0

P:\Projects\2021\12-0426 (Nashville Hwy Property - Smith Constructors)\Production\21-0426 Site Plan.dwg, 12/16/2021 8:41:33 AM



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING STREAM BUFFER

REVISIONS	
NO.	DATE

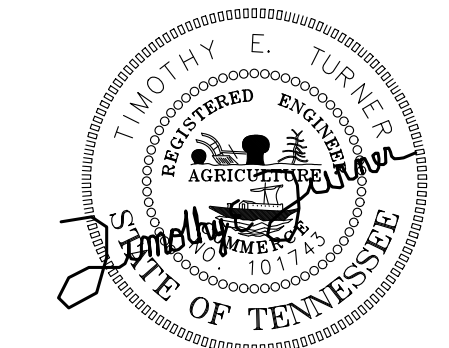
EXISTING CONDITIONS
 TAX MAP 75, PARCEL 11.01
 COLUMBIA, TN 38401

12-16-21

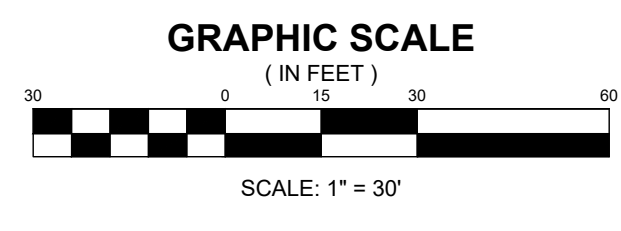
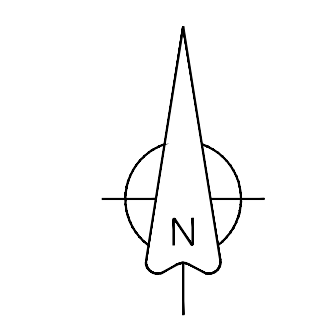
PROJECT
 21-0426

SHEET
 C-1.0

FLOOD NOTE NO PORTION OF THIS PROPERTY LIES WITHIN AN AREA DESIGNATED AS FLOOD HAZARD AREA, AS EVIDENCED ON FEMA PANEL #47115C0170E OF MAURY COUNTY, TN, DATED 04/16/2007.
OWNER OF RECORD CINDY WILLIAMS MAP 075, PARCEL 011.01
APPLICANT T-SQUARE ENGINEERING 1329 WEST MAIN ST FRANKLIN, TN 37064 615.678.8212



NASHVILLE HIGHWAY DEVELOPMENT



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING STREAM BUFFER
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR

- NOTE:
1. THERE WILL BE NO INCREASE IN THE Q50 RUNOFF FROM THE DEVELOPMENT ONTO TDOT ROW.
 2. ALL DRIVEWAYS MEET AASHTO INTERSECTION SIGHT DISTANCE.
 3. ALL PAVEMENT MARKINGS ON TDOT ROW SHALL BE THERMOPLASTIC.

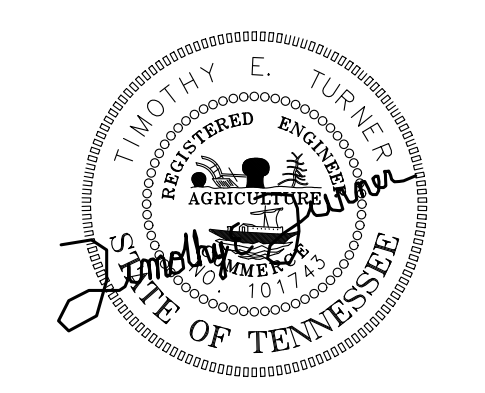
REVISIONS	
NO.	DATE

DATE: 12/16/21
 SCALE: AS SHOWN
 DRAWN BY: T-SQUARE
 REVIEWER: TET

GRADING PLAN
 TAX MAP 75, PARCEL 11.01
 COLUMBIA, TN 38401

NASHVILLE HIGHWAY DEVELOPMENT

FLOOD NOTE
NO PORTION OF THIS PROPERTY LIES WITHIN AN AREA DESIGNATED AS FLOOD HAZARD AREA, AS EVIDENCED ON FEMA PANEL #47115C0170E OF MAURY COUNTY, TN, DATED 04/16/2007.
OWNER OF RECORD
CINDY WILLIAMS MAP 075, PARCEL 011.01
APPLICANT
T-SQUARE ENGINEERING 1329 WEST MAIN ST FRANKLIN, TN 37064 615.678.8212



PROJECT
 21-0426

SHEET
 C-5.0

P:\Projects\2021\21-0426 (Nashville Hwy Property - Smith Constructors)\Production\21-0426 Grading & Drainage Plan.dwg, 12/16/2021 8:42:09 AM



ITEM #7

TECHNICAL COMMITTEE COMMENT FORM

January 11, 2022

NAME OR DEPARTMENT: _____

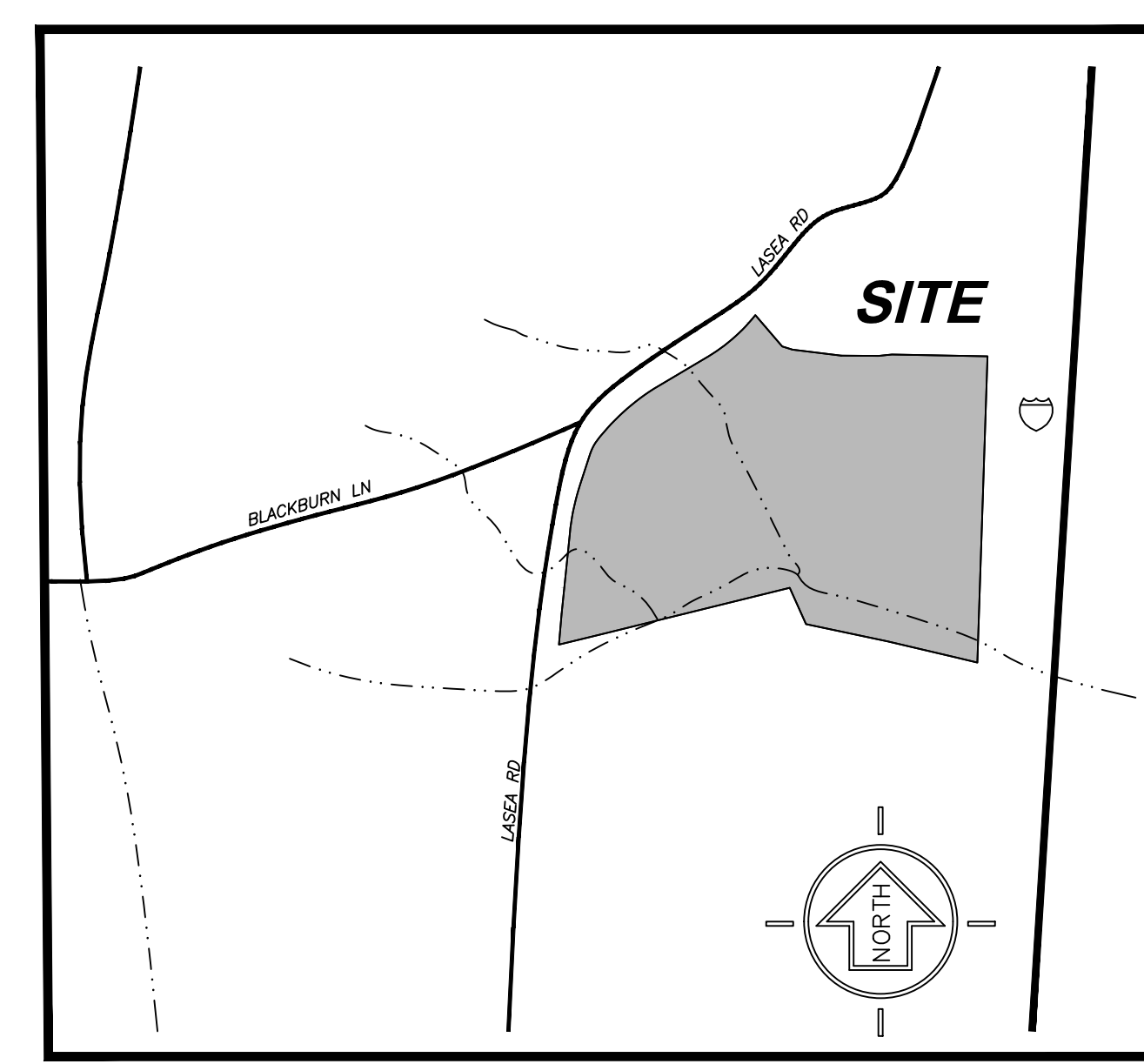
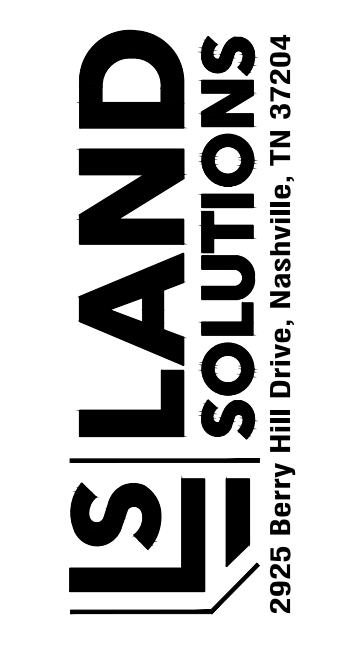
Case Number: 21-0288

**Request from Lynn Ealey to annex with a plan of services 626 Baker Road
being Tax Map 73 Parcel 15.00 with a zoning of RS-10.**

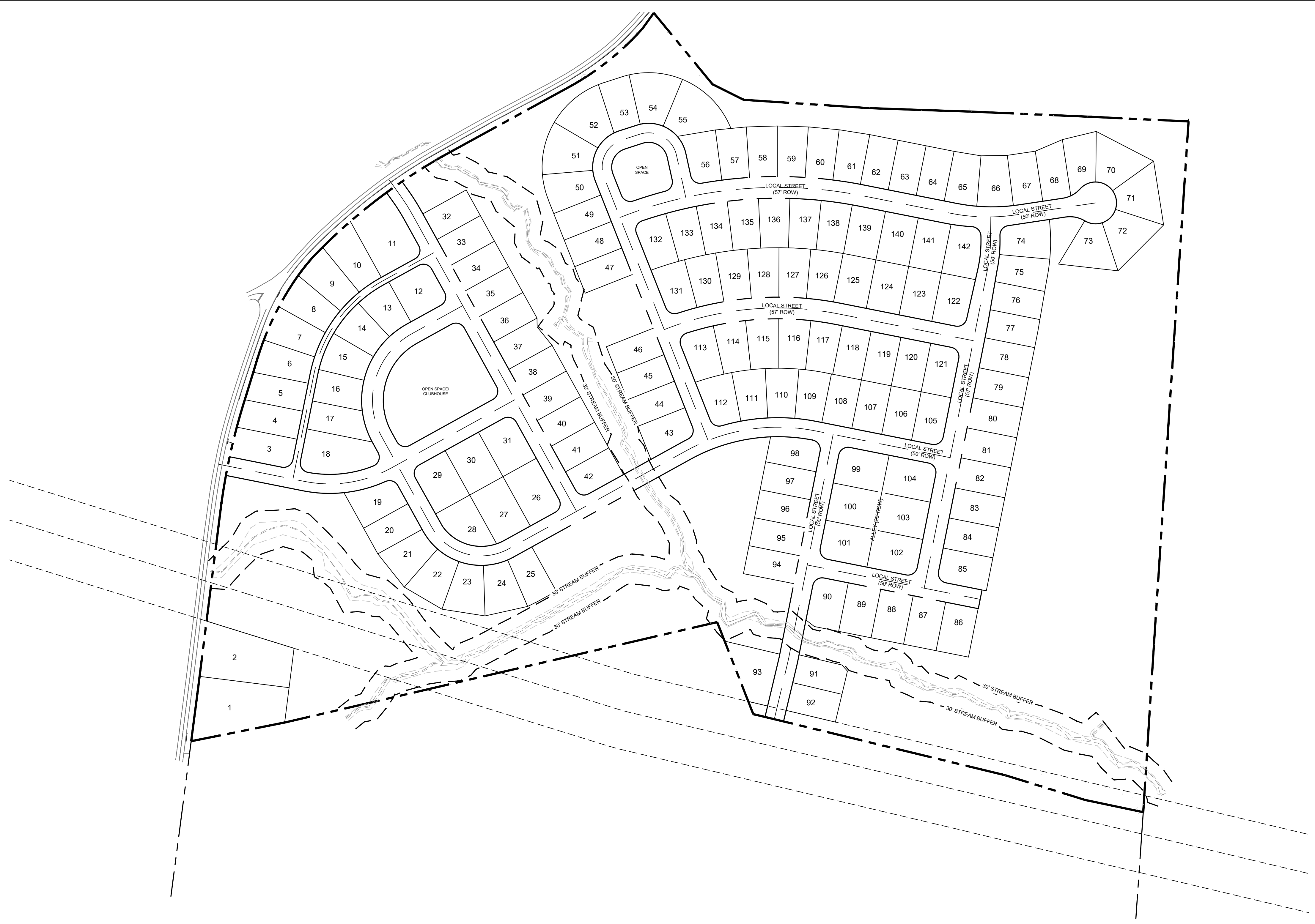
COMMENTS:

NOT FOR CONSTRUCTION

12/13/2021



VICINITY MAP
N.T.S.



LASEA ROAD
CONCEPT PLAN
MAP 73, PARCEL 15
1686 LASEA ROAD
COLUMBIA, MAURY COUNTY, TENNESSEE

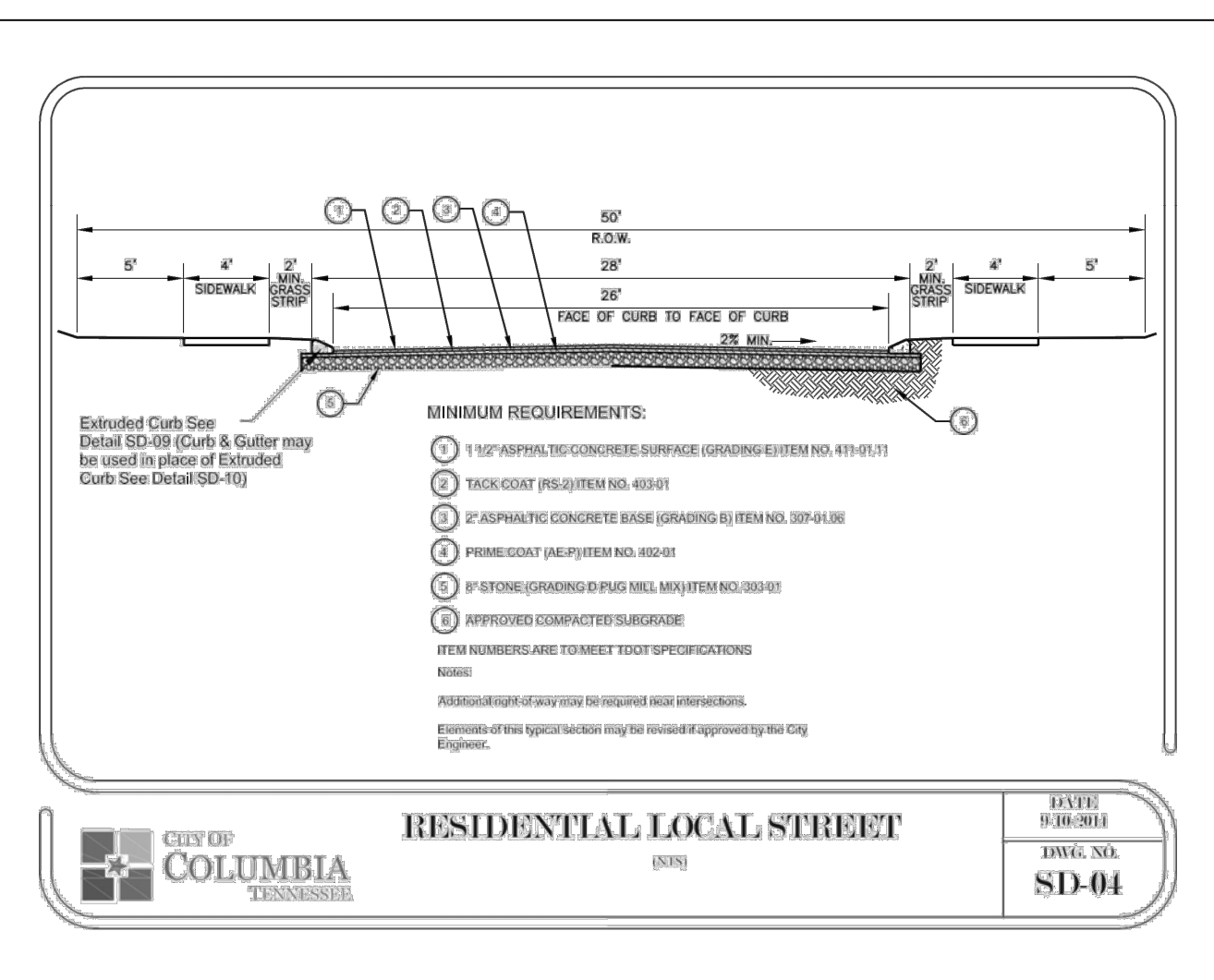
ISSUANCE/REVISION NOTES:
- PLAN DATE: DECEMBER 13, 2021

- NONE
- NONE
- NONE
- NONE

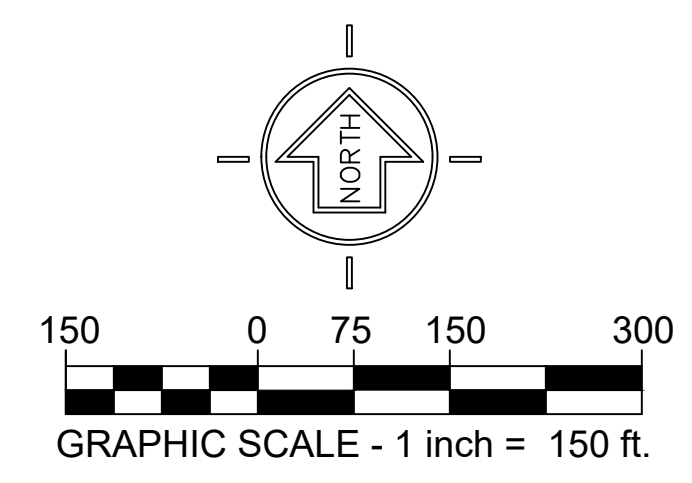
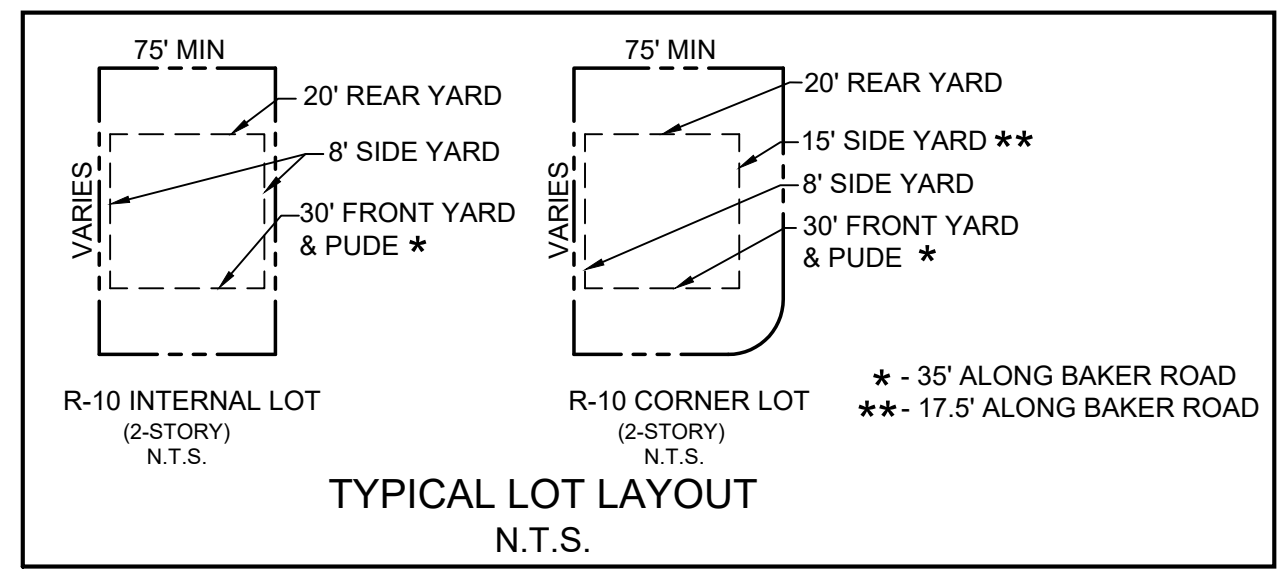
CONCEPT PLAN

C2.0

LSC 21008



50' ROW TYPICAL SECTION
N.T.S.





ITEM #8

TECHNICAL COMMITTEE COMMENT FORM

January 11, 2022

NAME OR DEPARTMENT: _____

Case Number: 21-0289

Request from Lynn Ealey to annex with a plan of services 626 Baker Road being Tax Map 74 Parcel 37.00 with a zoning of RS-10.

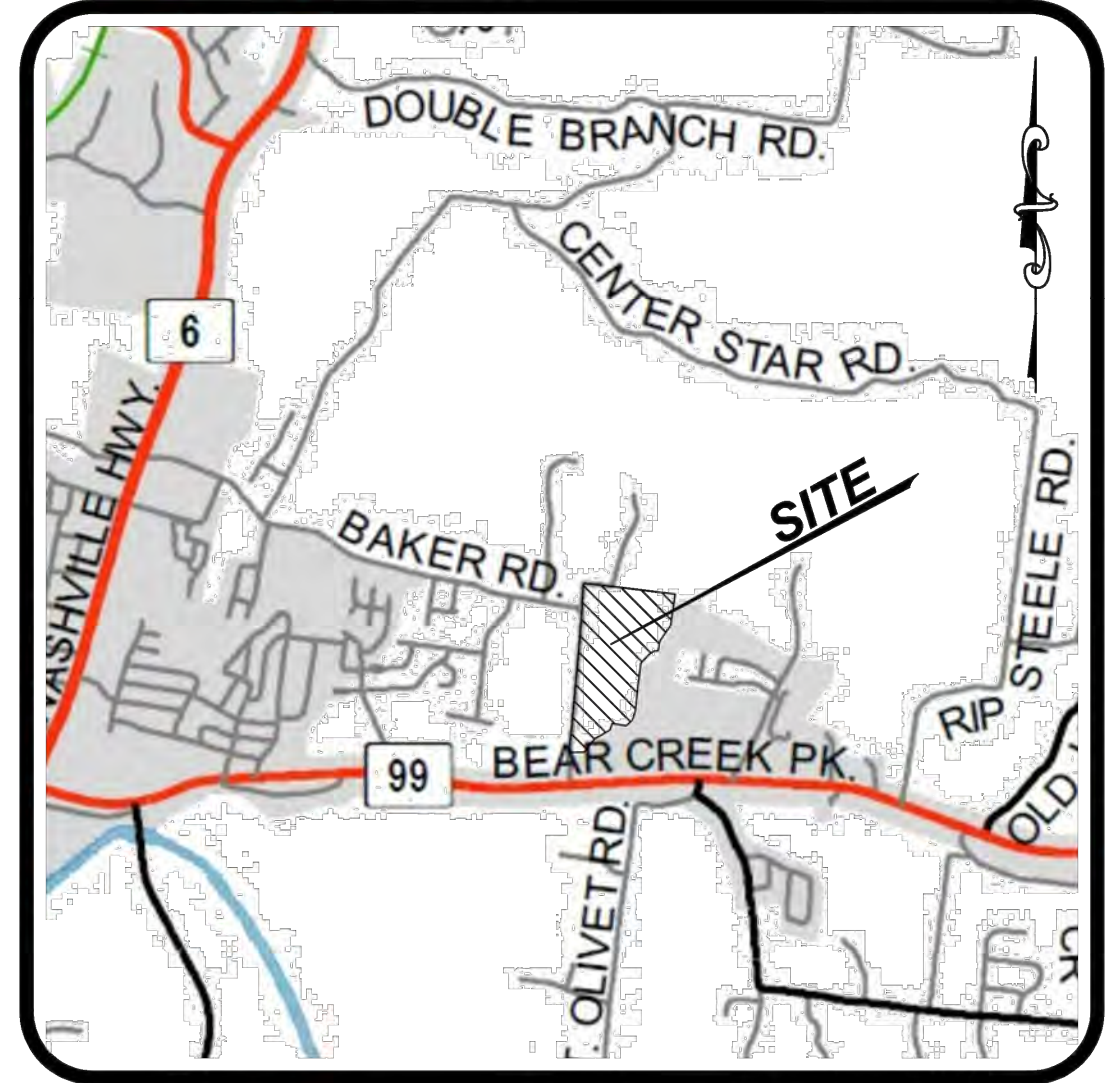
COMMENTS:

JIMIE L. MANFRE ET UX
MAP 74, PARCEL 37
BOOK 11456, PAGE 776

RIVERSTONE HOMES, LLC
MAP 74, PARCEL 37.03
BOOK 10077, PAGE 548
PLAT BOOK 100 91, PAGE 511

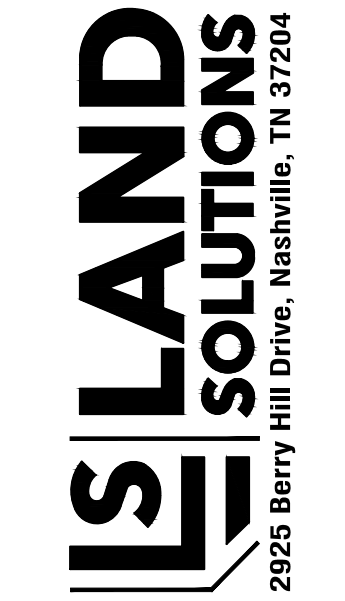
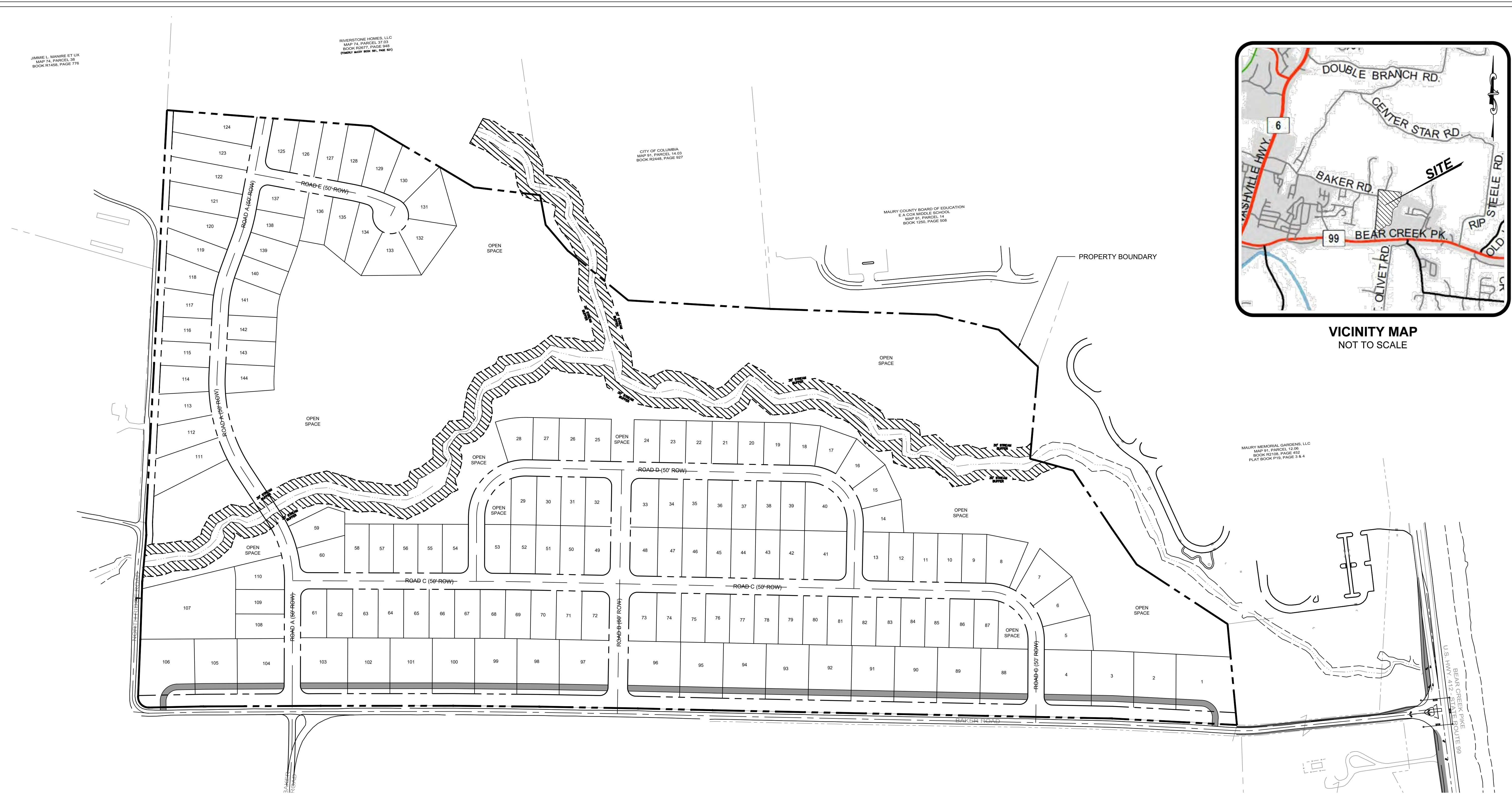
CITY OF COLUMBIA
MAP 91, PARCEL 14.03
BOOK 10448, PAGE 107

MAURY COUNTY BOARD OF EDUCATION
E.A. COX MIDDLE SCHOOL
MAP 91, PARCEL 14
BOOK 10560, PAGE 588



VICINITY MAP
NOT TO SCALE

MAURY MEMORIAL GARDENS, LLC
MAP 91, PARCEL 12.06
BOOK 10210, PAGE 402
PLAT BOOK 119, PAGE 3 & 4



HERITAGE GREEN
CONCEPT PLAN

MAP 74, PARCEL 37
626 BAKER ROAD
COLUMBIA, MAURY COUNTY, TENNESSEE

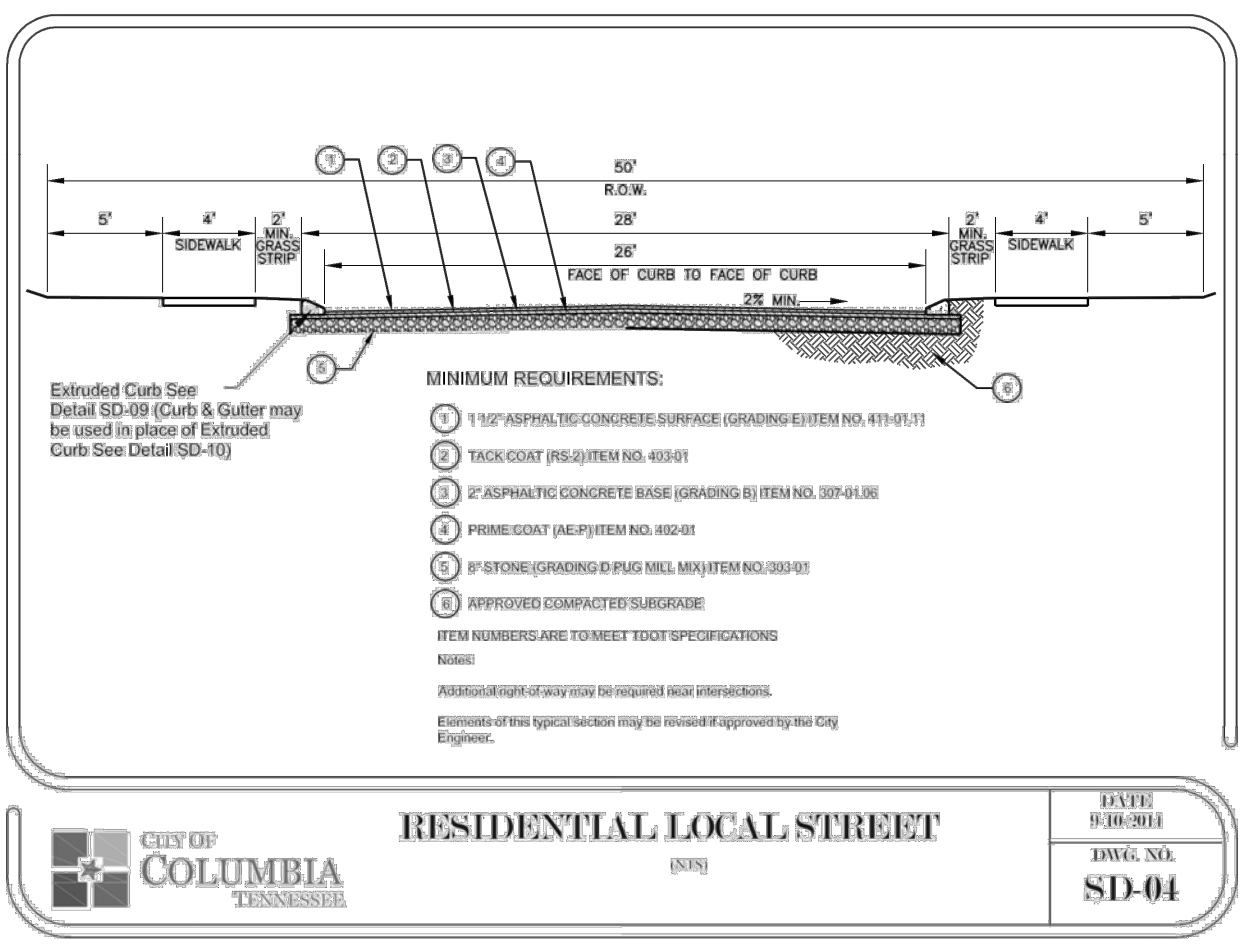
ISSUANCE/REVISION NOTES:
- PLAN DATE: DECEMBER 17, 2021

- NONE
- NONE
- NONE
- NONE

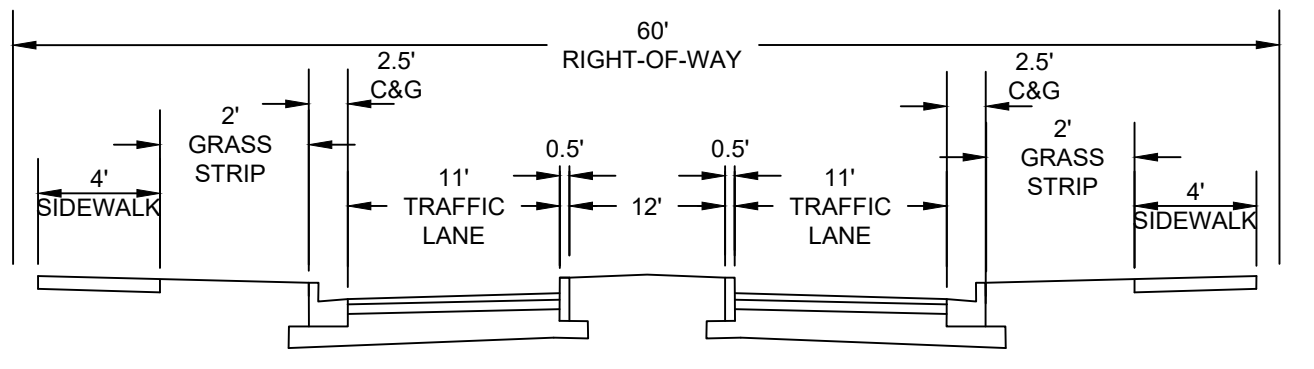
CONCEPT PLAN

C2.0

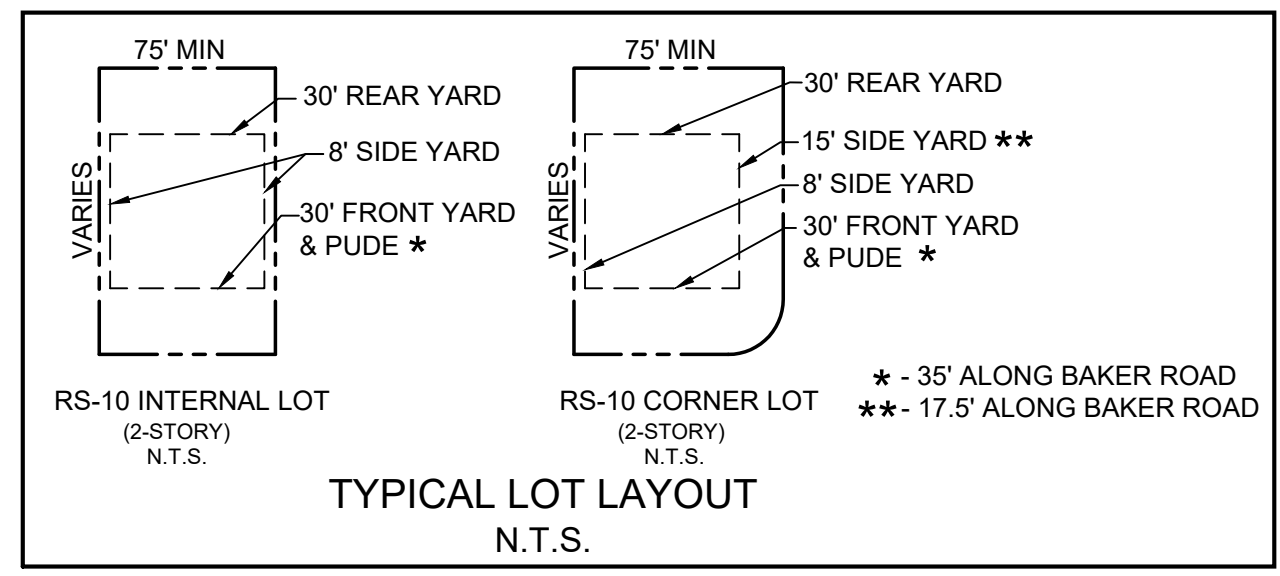
LSC 21001



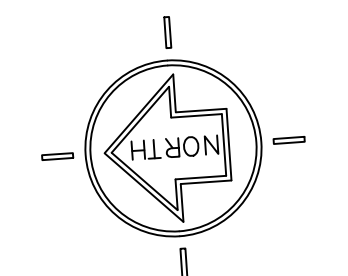
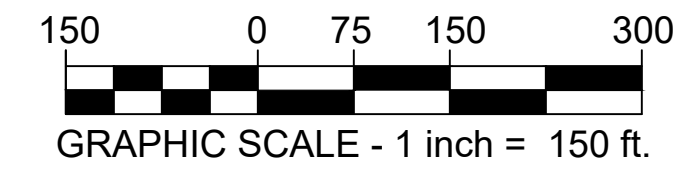
50' ROW TYPICAL SECTION
N.T.S.



BOULEVARD SECTION (60' ROW)
N.T.S.



Know what's below.
Call before you dig.





ITEM #9

TECHNICAL COMMITTEE COMMENT FORM

January 11, 2022

NAME OR DEPARTMENT: _____

Case Number: 21-0291

Request from Jimmy Fleming to rezone Parcels 20.25 and 20.26 of Tax Map 66 off North Pointe Road from High Density Residential to Low Density Residential and amending the comprehensive plan from Employment to Rural Residential.

COMMENTS:

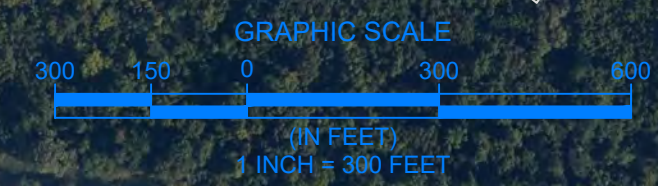


**ZONED 'M3'
SPECIAL
INDUSTRIAL
(OUTSIDE CITY
LIMITS)**

**ZONING
(IN CORPORATE LIMITS)
EXPANDED PIT
AREA WITH
MODIFIED ZONING**

**CURRENT PIT EXTENTS
UNDER EXISTING
ZONING REGULATIONS**

Berms along Eastern Property Line
to be 50 to 150 ft. wide and range
from 5 ft. to 20 ft. in height



PLOTTED: 4/21/21 LAST UPDATE: 4/21/21

D	C	B	A
DATE	REVISION	BY	ISSUE DATE: 4/21/21

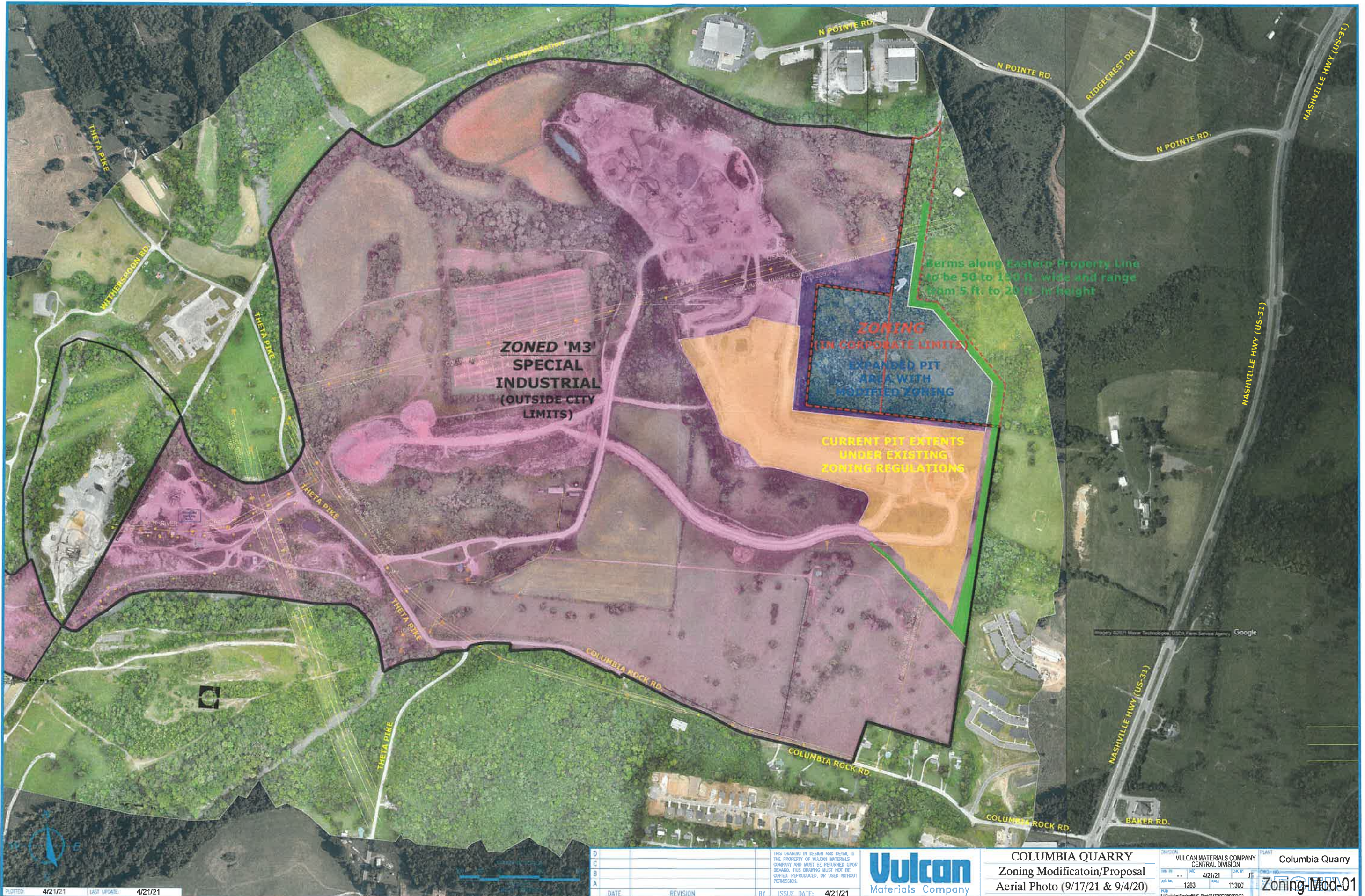
THIS DRAWING IN DESIGN AND DETAIL IS THE PROPERTY OF VULCAN MATERIALS COMPANY AND MUST BE RETURNED UPON DEMAND. THIS DRAWING MUST NOT BE COPIED, REPRODUCED, OR USED WITHOUT PERMISSION.



COLUMBIA QUARRY
Zoning Modification/Proposal
Aerial Photo (9/17/21 & 9/4/20)

DIVISION		PLANT	
VULCAN MATERIALS COMPANY CENTRAL DIVISION		Columbia Quarry	
DWG. NO.	DATE	CHK BY	DWG. NO.
1263	4/21/21	JT	Zoning-Mod-01
JOB NO.		SCALE	
1263		1"=300'	
PATH: U:\GeologicalServices\VMC_Sites\STATE\SITES\RESERVES			

Imagery ©2021 Maxar Technologies, USDA Farm Service Agency, Google



PLOTTED: 4/21/21 LAST UPDATE: 4/21/21

DATE	REVISION	BY	ISSUE DATE:
			4/21/21

THIS DRAWING IN DESIGN AND DETAIL IS THE PROPERTY OF VULCAN MATERIALS COMPANY AND MUST BE RETURNED UPON DEMAND. THIS DRAWING MUST NOT BE COPIED, REPRODUCED, OR USED WITHOUT PERMISSION.



COLUMBIA QUARRY
 Zoning Modification/Proposal
 Aerial Photo (9/17/21 & 9/4/20)

DIVISION:	VULCAN MATERIALS COMPANY CENTRAL DIVISION	PROJECT:	Columbia Quarry
DATE:	4/21/21	SCALE:	1"=300'
JOB NO.:	1263	DATE PLOTTED:	4/21/21
FILE:	U:\GIS\GISServices\MC_Site\STATES\PRESERVES	PLANNING:	Zoning-Mod-01

DEC 20 20 1
 By: 21-029/



ITEM #10

TECHNICAL COMMITTEE COMMENT FORM

January 11, 2022

NAME OR DEPARTMENT: _____

Case Number: 21-0292 & 21-0294

Request from Bill Kottas for approval of a Final Master Development Plan and platting of Trotwood Villas being Tax Map 112 Parcel 19.20 off Trotwood Avenue.

COMMENTS:



ITEM #11

TECHNICAL COMMITTEE COMMENT FORM

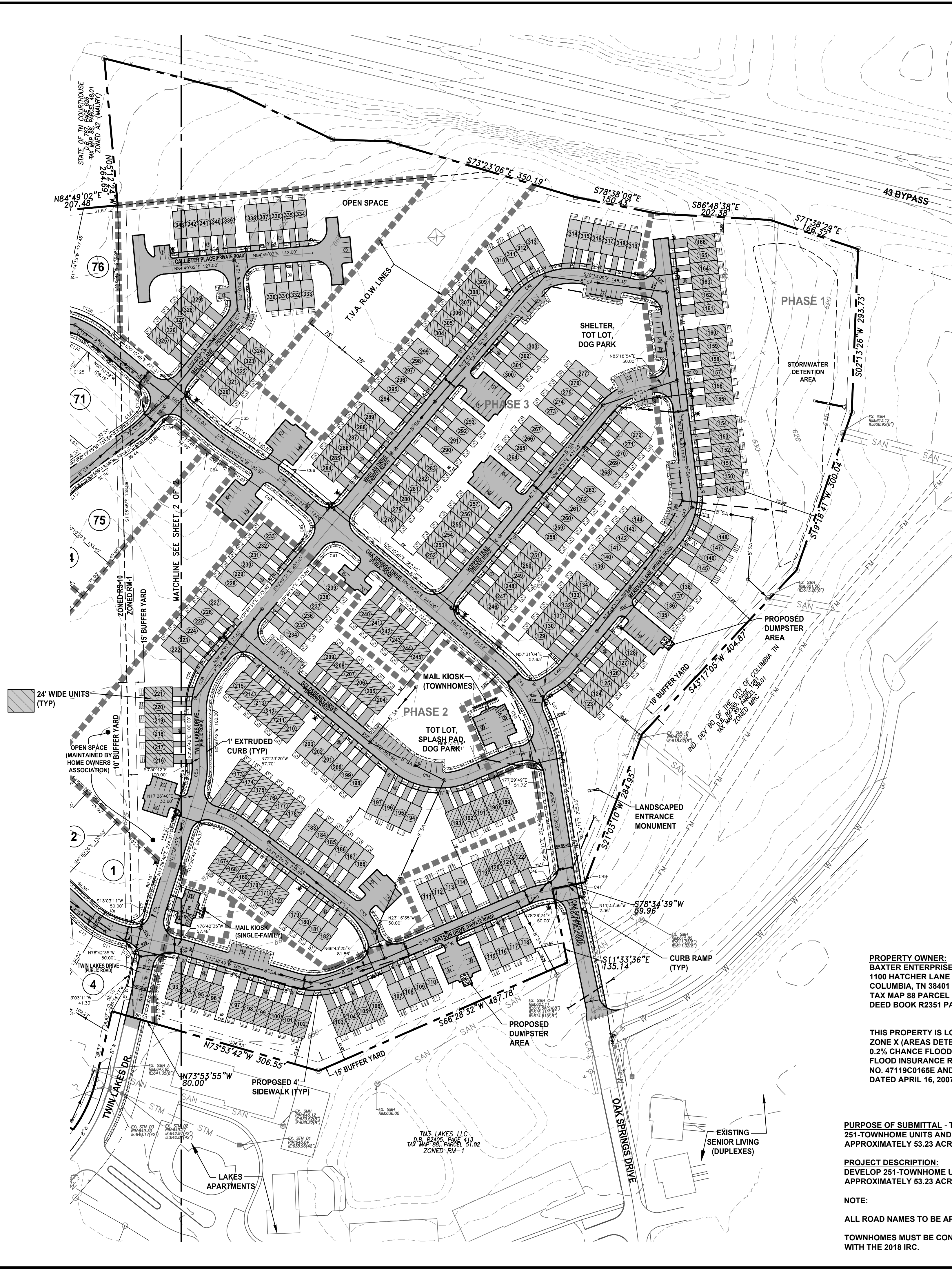
January 11, 2022

NAME OR DEPARTMENT: _____

Case Number: 21-0293

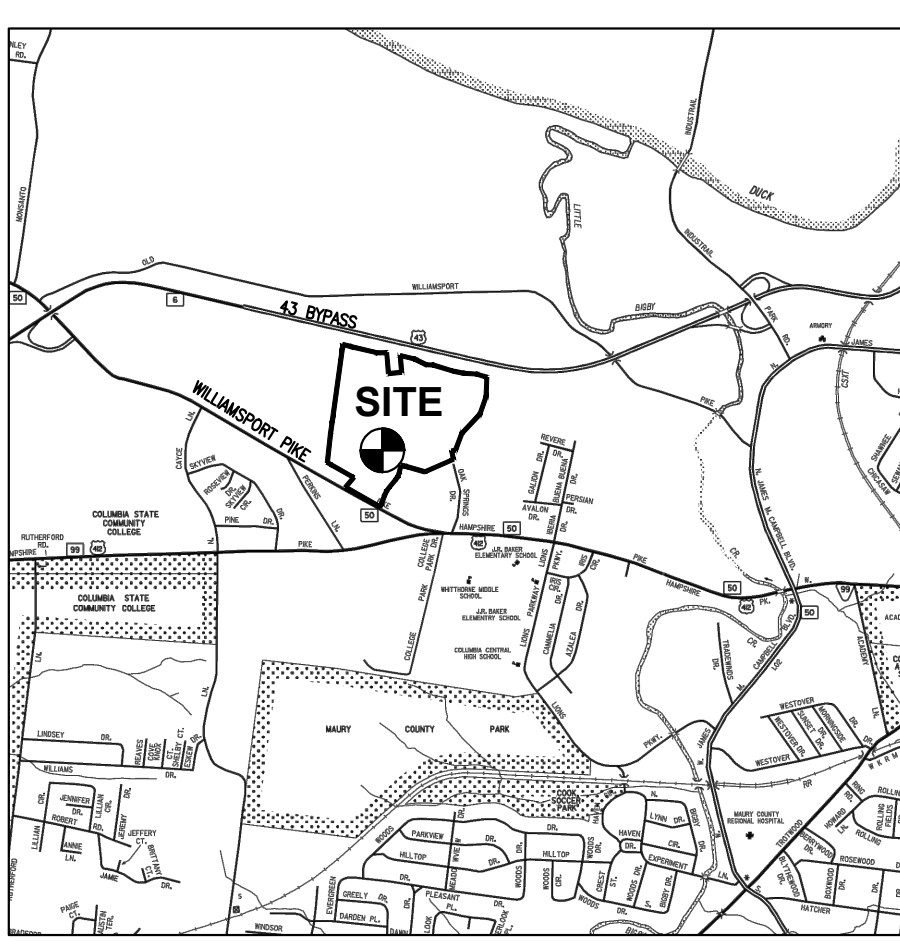
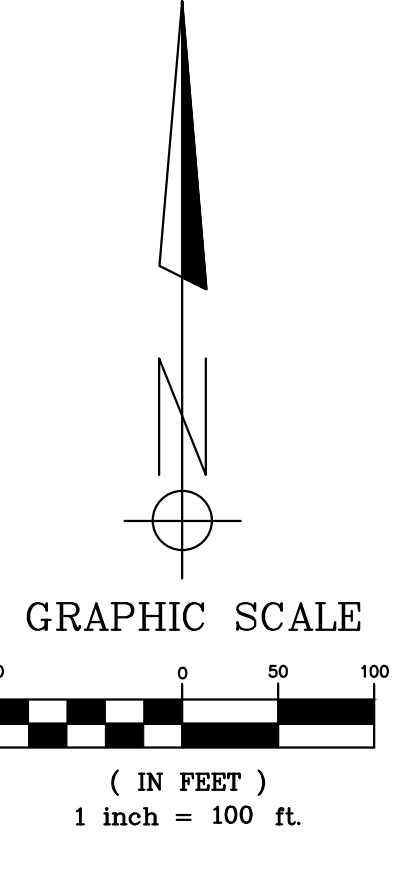
**Request from Martin Engineering for Preliminary Plat approval of
Williamsport Pike Subdivision off Oak Springs Drive being Tax Map 88
Parcel 51.01.**

COMMENTS:



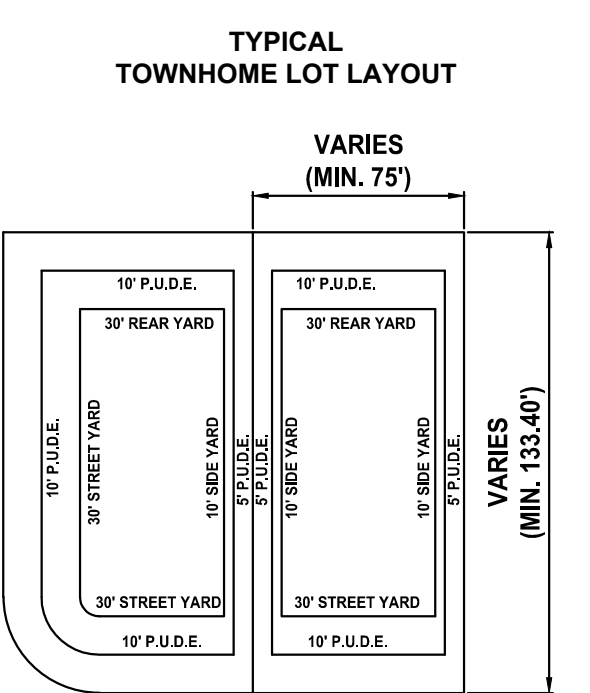
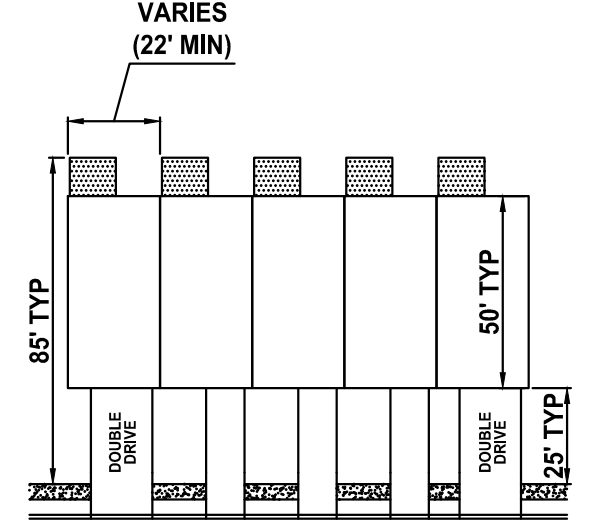
CURVE TABLE				CURVE TABLE				CURVE TABLE							
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD	CHORD	DELTA	CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD	CHORD	DELTA
C1	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C18	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C2	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C19	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C3	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C20	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C4	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C21	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C5	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C22	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C6	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C23	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C7	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C24	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C8	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C25	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C9	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C26	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C10	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C27	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C11	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C28	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C12	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C29	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C13	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C30	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C14	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C31	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C15	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C32	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C16	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C33	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C17	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C34	15.00	150.00	30.00	149.25	149.25	149.25	30.00

CURVE TABLE				CURVE TABLE				CURVE TABLE							
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD	CHORD	DELTA	CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD	CHORD	DELTA
C35	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C42	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C36	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C43	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C37	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C44	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C38	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C45	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C39	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C46	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C40	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C47	15.00	150.00	30.00	149.25	149.25	149.25	30.00
C41	15.00	150.00	30.00	149.25	149.25	149.25	30.00	C48	15.00	150.00	30.00	149.25	149.25	149.25	30.00



TOWNHOME PARKING SUMMARY				
TYPE UNIT	# UNITS	GARAGE PARKING PROVIDED	DRIVEWAY PARKING PROVIDED	SURFACE PARKING PROVIDED
24'X50' (1 CAR GARAGE)	129	129(0)	175	95
22'X50' (1 CAR GARAGE)	122	122(0)	172	89
TOTAL PARKING PROVIDED		0 + 347 + 184 = 531		
TOTAL PARKING REQUIRED		251 X 2 = 502		

TOWNHOME DENSITY			SITE USE SUMMARY (SINGLE-FAMILY)		
UNITS	ACRES	UNITS/AC.	USE	ACRES	SITE%
251	36.99	6.79	ROAD R.O.W.	7.10	15.6%
			OPEN SPACE (TVA R.O.W.)	4.27	9.4%
			OPEN SPACE	5.43	11.9%
			TOTAL	45.51	100%



DEVELOPMENT SCHEDULE							
PHASE	NUMBER OF 75' WIDE SINGLE-FAMILY LOTS	LOTS	NUMBER OF 24' TOWNHOME UNITS	UNITS	NUMBER OF 22' TOWNHOME UNITS	UNITS	COMPLETION DATE
PHASE 1	30	1-30	48	93-106, 118-134 & 149-156	26	107-118 & 135-148	NOV. 2022
PHASE 2	34	31-64	35	167-176, 189-193 & 204-221	38	179-188, 194-203 & 222-239	NOV. 2023
PHASE 3	28	65-92	46	240-257, 278-289, 304-309 & 320-329	58	258-277, 290-303, 310-319 & 330-343	NOV. 2024

OPEN SPACE SUMMARY (ENTIRE DEVELOPMENT)	
SITE AREA:	84.51 ACRES
OPEN SPACE PROVIDED:	28.31 ACRES (17.61 ACRES USABLE)
TOWNHOMES	AREA: 36.99 ACRES
PRIVATE YARD SPACE PROVIDED:	100 SF / UNIT
OPEN SPACE PROVIDED:	16.00 ACRES (10.33 ACRES USABLE)
POUND AREA:	1.26 ACRES (0.31 ACRES USABLE)
NATURAL OPEN SPACE:	14.14 ACRES (9.42 ACRES USABLE)
AMENITY:	1.25 ACRES (0.60 USABLE)
SINGLE FAMILY LOTS	AREA: 45.51 ACRES
OPEN SPACE PROVIDED:	9.70 ACRES (5.94 ACRES USABLE)
POUND AREA:	0.76 ACRES (0.19 ACRES USABLE)
NATURAL OPEN SPACE:	7.89 ACRES (5.13 ACRES USABLE)
AMENITY:	1.25 ACRES (0.62 USABLE)
2.01 ACRES (MAURY COUNTY)	AREA: 2.01 ACRES
NATURAL OPEN SPACE PROVIDED:	2.01 ACRES (1.34 ACRES USABLE)

PROPERTY OWNER:
BAXTER ENTERPRISES
1100 HATCHER LANE
COLUMBIA, TN 38401
TAX MAP 88 PARCEL 51.00
DEED BOOK R2351 PAGE 893

THIS PROPERTY IS LOCATED WITHIN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47119C0165E AND NO. 47119C0280E, BOTH DATED APRIL 16, 2007.

PURPOSE OF SUBMITTAL - TO OBTAIN PRELIMINARY PLAT APPROVAL FOR 251-TOWNHOME UNITS AND 92 SINGLE-FAMILY RESIDENTIAL LOTS ON APPROXIMATELY 53.23 ACRES OF PARCEL 51.00 IN TAX MAP 88 UNDER RM-1 PUD.

PROJECT DESCRIPTION:
DEVELOP 251-TOWNHOME UNITS AND 92 SINGLE-FAMILY RESIDENTIAL LOTS ON APPROXIMATELY 53.23 ACRES OF LAND.

NOTE:
ALL ROAD NAMES TO BE APPROVED BY E-911.
TOWNHOMES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE 2018 IRC.

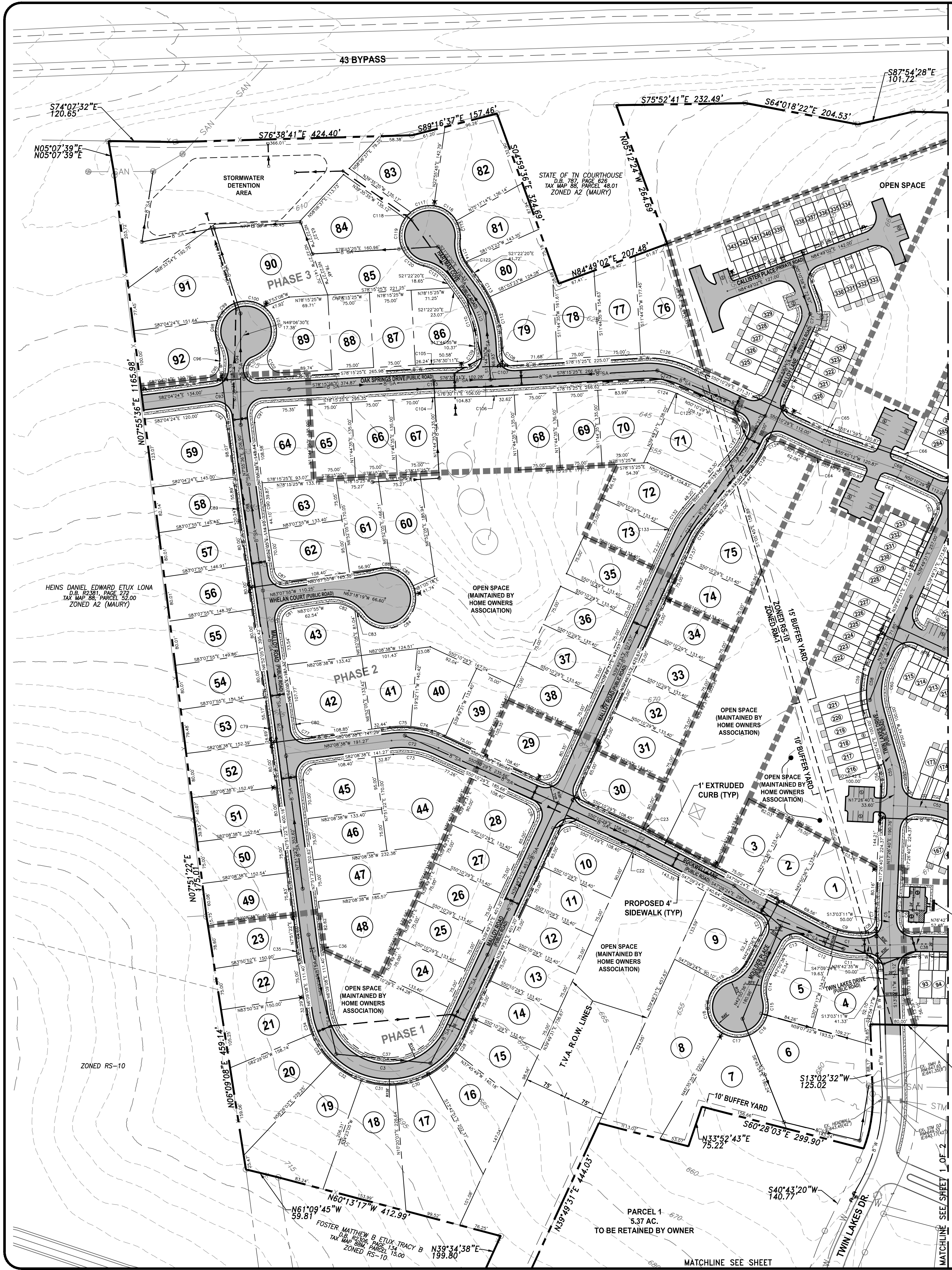
WILLIAMSPORT PIKE DEVELOPMENT

REVISED PRELIMINARY PLAT

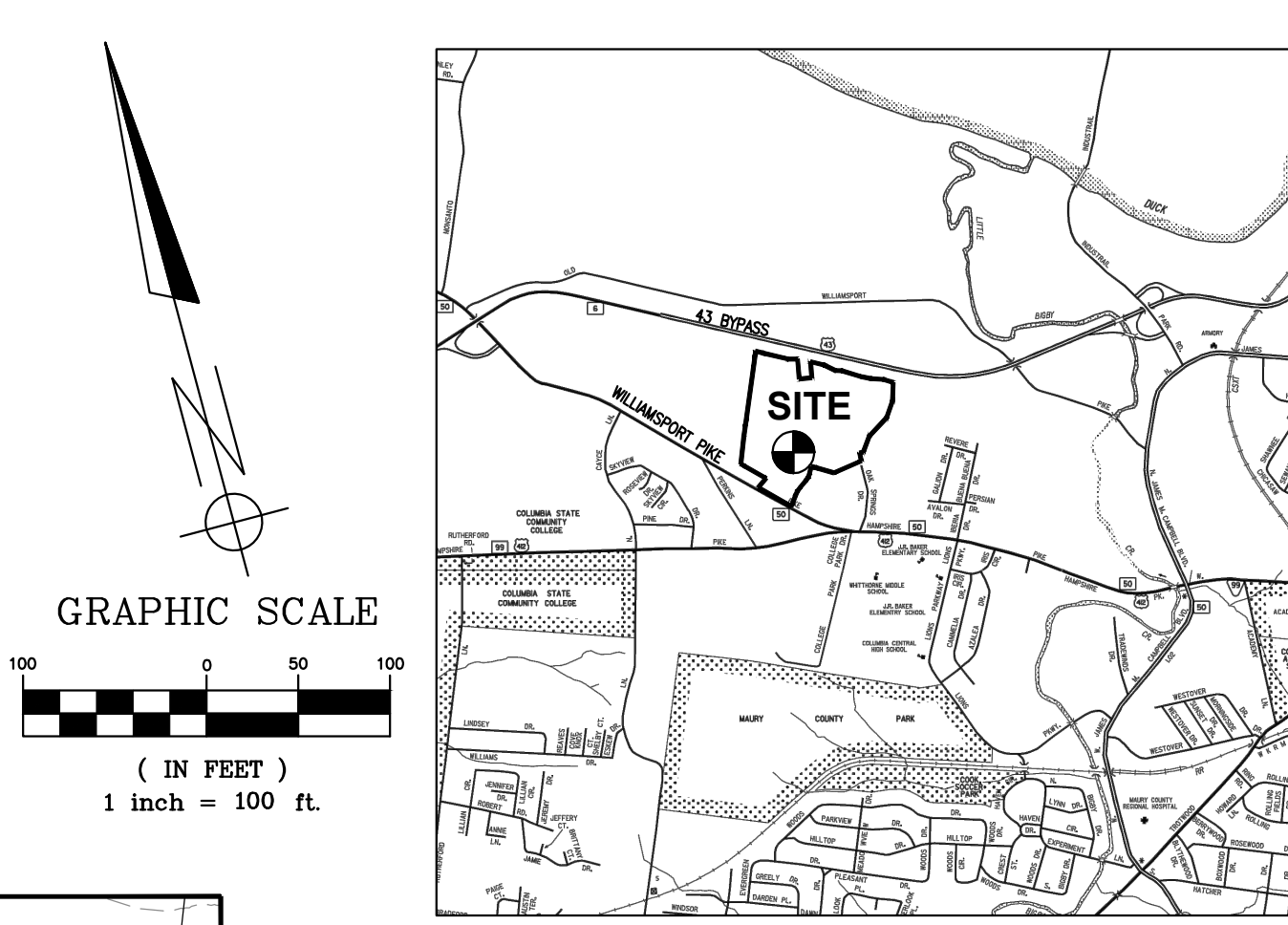
COLUMBIA, TENNESSEE
MAURY COUNTY
DECEMBER 14, 2021



M
E
S
MARTIN ENGINEERING & SURVEYING, LLC
818 S. Main Street
Columbia, TN 38401
615.812.2147
gary@martinengr.com



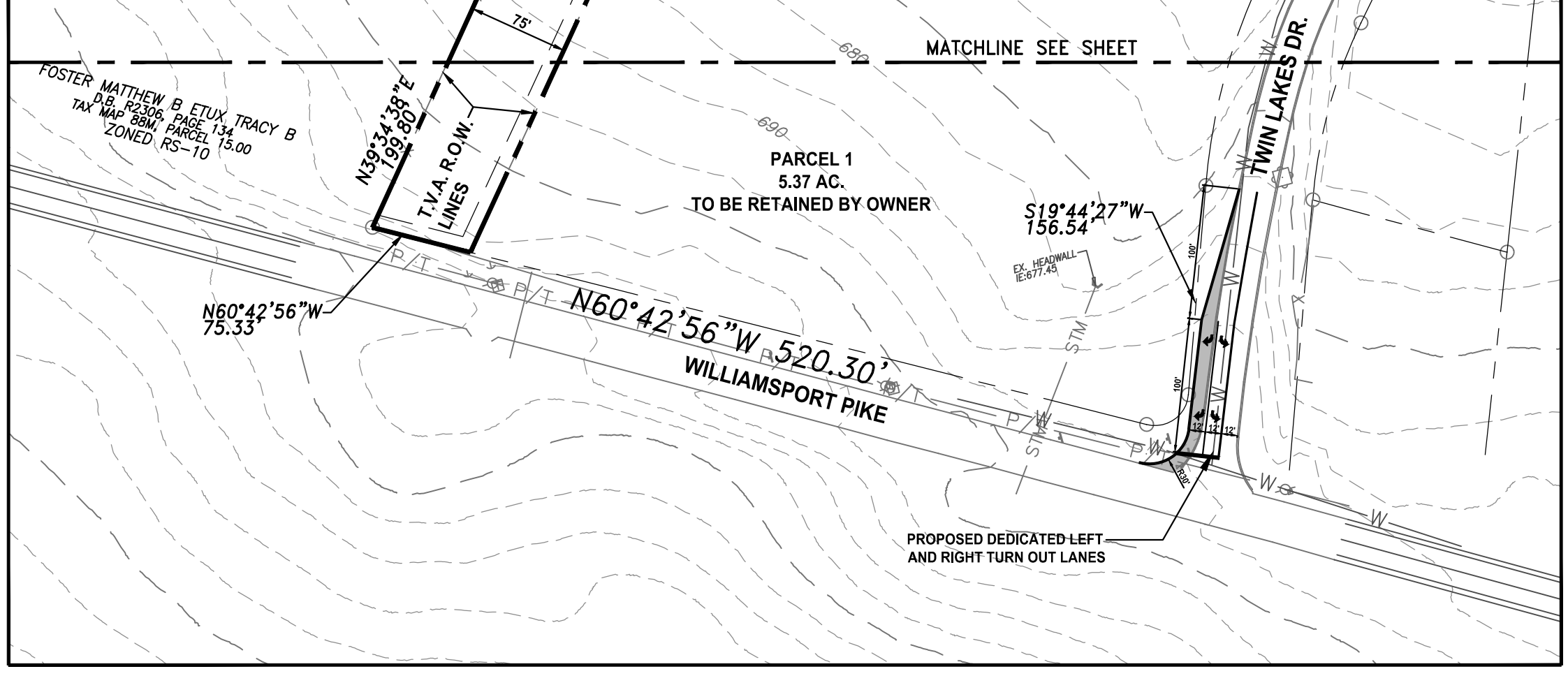
CURVE TABLE				CURVE TABLE				CURVE TABLE				CURVE TABLE				CURVE TABLE															
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD	CHORD	CHORD	CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD	CHORD	CHORD	CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD	CHORD	CHORD	CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD	CHORD	CHORD
C1	1.85	15.00	27.00°	3.00	3.00	3.00	3.00	C5	1.85	15.00	27.00°	3.00	3.00	3.00	3.00	C9	1.85	15.00	27.00°	3.00	3.00	3.00	3.00	C13	1.85	15.00	27.00°	3.00	3.00	3.00	3.00
C2	1.12	15.00	27.00°	1.85	1.85	1.85	1.85	C6	1.85	15.00	27.00°	3.00	3.00	3.00	3.00	C10	1.85	15.00	27.00°	3.00	3.00	3.00	3.00	C14	1.85	15.00	27.00°	3.00	3.00	3.00	3.00
C3	3.00	15.00	27.00°	5.00	5.00	5.00	5.00	C7	1.85	15.00	27.00°	3.00	3.00	3.00	3.00	C11	1.85	15.00	27.00°	3.00	3.00	3.00	3.00	C15	1.85	15.00	27.00°	3.00	3.00	3.00	3.00
C4	4.00	15.00	27.00°	6.71	6.71	6.71	6.71	C8	1.85	15.00	27.00°	3.00	3.00	3.00	3.00	C12	1.85	15.00	27.00°	3.00	3.00	3.00	3.00	C16	1.85	15.00	27.00°	3.00	3.00	3.00	3.00



TYPE UNIT	# UNITS	GARAGE PARKING PROVIDED	DRIVEWAY PARKING PROVIDED	SURFACE PARKING PROVIDED
24'X50' (1 CAR GARAGE)	129	129(0)	175	95
22'X50' (1 CAR GARAGE)	122	122(0)	172	89
TOTAL PARKING PROVIDED	251	0	347	184
TOTAL PARKING REQUIRED	251	0	347	184

UNITS	ACRES	UNITS/AC.
251	36.99	6.79

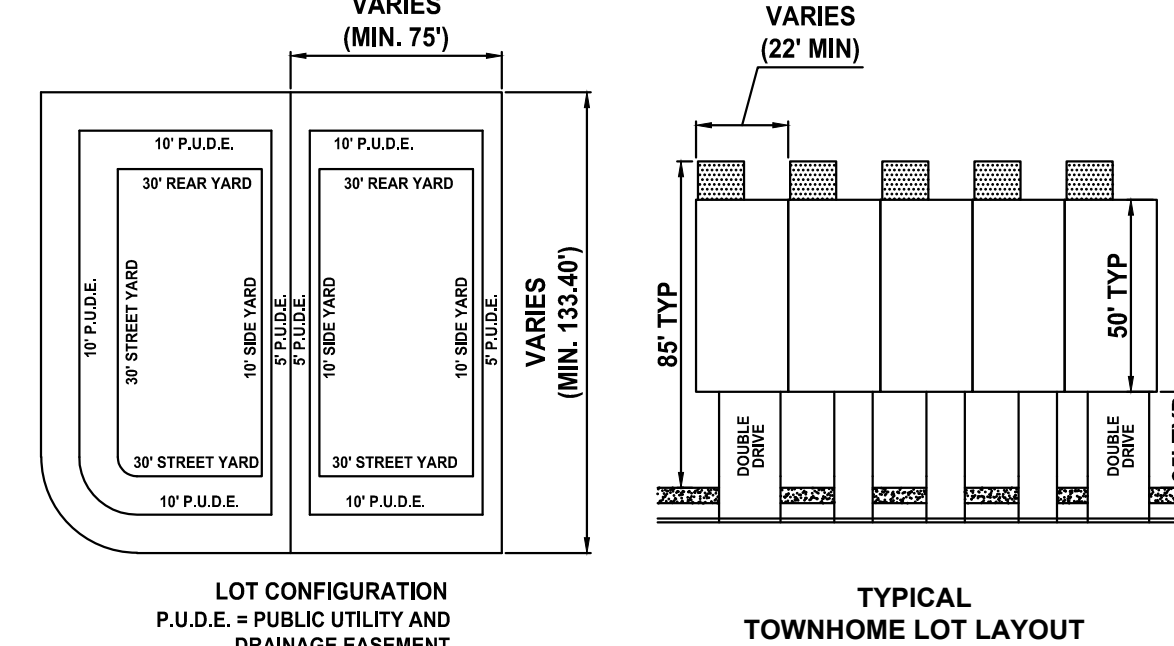
USE	ACRES	SITE%
LOTS (92)	28.71	63.1%
ROAD R.O.W.	7.10	16.6%
OPEN SPACE (TVA R.O.W.)	4.27	9.4%
OPEN SPACE	5.43	11.9%
TOTAL	45.51	100%



PHASE 1 LOT TABLE		PHASE 2 LOT TABLE		PHASE 3 LOT TABLE	
LOT NO.	AREA (SF)	LOT NO.	AREA (SF)	LOT NO.	AREA (SF)
1	16,921	31	10,005	65	10,125
2	10,005	32	10,005	66	10,125
3	10,474	33	10,005	67	10,125
4	13,322	34	10,005	68	10,125
5	12,716	35	10,005	69	10,125
6	36,115	36	10,005	70	14,899
7	20,378	37	10,005	71	17,113
8	35,527	38	10,005	72	12,334
9	15,202	39	10,005	73	10,005
10	11,872	40	12,344	74	10,005
11	10,005	41	11,535	75	13,668
12	10,005	42	17,669	76	16,403
13	10,005	43	12,884	77	12,453
14	10,005	44	21,628	78	10,932
15	11,229	45	12,539	79	14,245
16	16,113	46	10,005	80	9,969
17	27,273	47	15,673	81	11,277
18	22,623	48	17,720	82	19,951
19	24,446	49	11,563	83	16,134
20	19,137	50	11,440	84	17,342
21	13,104	51	12,202	85	14,418
22	11,250	52	12,195	86	13,327
23	11,523	53	12,281	87	10,125
24	10,005	54	12,048	88	10,125
25	10,005	55	11,930	89	13,859
26	10,005	56	11,812	90	22,509
27	10,005	57	11,694	91	22,224
28	11,872	58	11,720	92	14,544
29	13,920	59	17,711		
30	11,872	60	13,952		
		61	12,532		
		62	12,539		
		63	10,755		
		64	13,015		

PROPERTY OWNER:
 BAXTER ENTERPRISES
 1100 HATCHER LANE
 COLUMBIA, TN 38401
 TAX MAP 88 PARCEL 51.00
 DEED BOOK R2351 PAGE 893

THIS PROPERTY IS LOCATED WITHIN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47119C0165E AND NO. 47119C0280E, BOTH DATED APRIL 16, 2007.



OPEN SPACE SUMMARY (ENTIRE DEVELOPMENT)
 SITE AREA: 45.51 ACRES
 OPEN SPACE PROVIDED: 28.31 ACRES (17.61 ACRES USABLE)

TOWNHOMES
 AREA: 36.99 ACRES
 PRIVATE YARD SPACE PROVIDED: 100 SF / UNIT
 = 100 X 251 = 25,100 SF = 0.56 ACRES
 OPEN SPACE PROVIDED: 16.00 ACRES (10.53 ACRES USABLE)
 POND AREA: 1.26 ACRES (0.31 ACRES USABLE)
 NATURAL OPEN SPACE: 14.14 ACRES (9.42 ACRES USABLE)
 AMENITY: 1.26 ACRES (0.60 USABLE)

SINGLE FAMILY LOTS
 AREA: 45.51 ACRES
 OPEN SPACE PROVIDED: 9.70 ACRES (5.94 ACRES USABLE)
 POND AREA: 0.76 ACRES (0.19 ACRES USABLE)
 NATURAL OPEN SPACE: 7.69 ACRES (5.13 ACRES USABLE)
 AMENITY: 1.25 ACRES (0.62 USABLE)

2.01 ACRES (MAURY COUNTY)
 AREA: 2.01 ACRES
 NATURAL OPEN SPACE PROVIDED: 2.01 ACRES
 (1.34 ACRES USABLE)

WILLIAMSPORT PIKE DEVELOPMENT

REVISED PRELIMINARY PLAT

COLUMBIA, TENNESSEE
 MAURY COUNTY
 DECEMBER 14, 2021

PURPOSE OF SUBMITTAL - TO OBTAIN PRELIMINARY PLAT APPROVAL FOR 251-TOWNHOME UNITS AND 92 SINGLE-FAMILY RESIDENTIAL LOTS ON APPROXIMATELY 53.23 ACRES OF PARCEL 51.00 IN TAX MAP 88 UNDER RM-1 PUD.

PROJECT DESCRIPTION:
 DEVELOP 251-TOWNHOME UNITS AND 92 SINGLE-FAMILY RESIDENTIAL LOTS ON APPROXIMATELY 53.23 ACRES OF LAND.

NOTE:
 ALL ROAD NAMES TO BE APPROVED BY E-911.
 TOWNHOMES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE 2018 IRC.

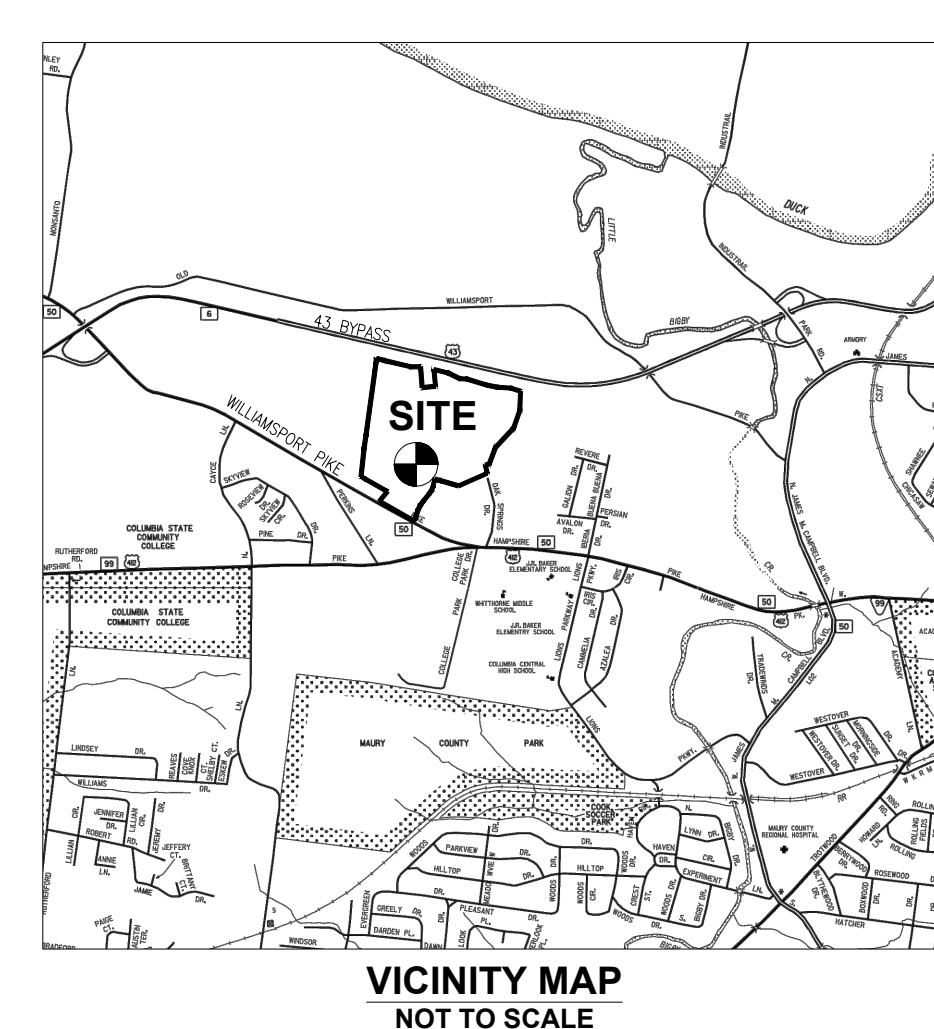
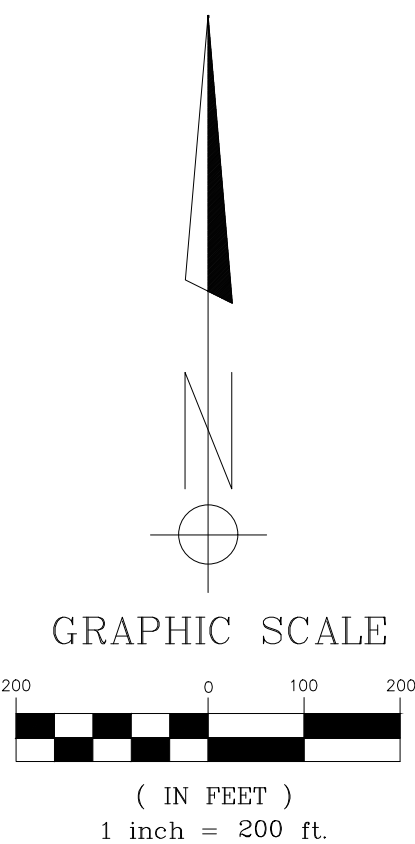
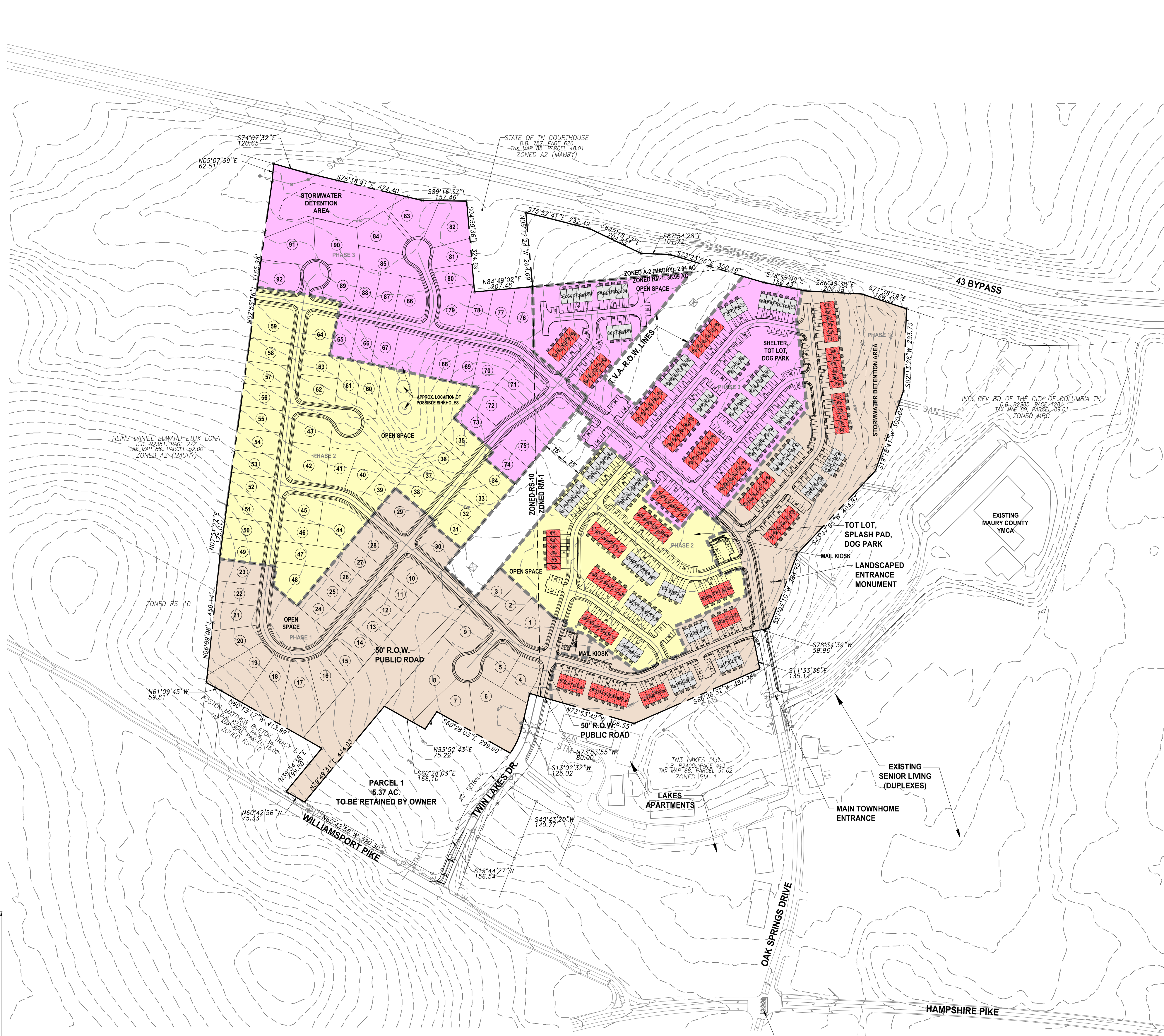


SHEET 2 OF 2

M
E
S
MARTIN ENGINEERING & SURVEYING, LLC

818 S. Main Street
 Columbia, TN 38401
 615.812.2147
 gary@martinengr.com

75' WIDE LOTS		75' WIDE LOTS	
LOT NO.	AREA (SF)	LOT NO.	AREA (SF)
1	16,921	51	12,202
2	10,005	52	12,195
3	10,474	53	12,281
4	13,322	54	12,048
5	12,716	55	11,930
6	36,115	56	11,812
7	20,378	57	11,694
8	35,527	58	11,720
9	15,202	59	17,711
10	11,872	60	13,952
11	10,005	61	12,532
12	10,005	62	12,539
13	10,005	63	10,755
14	10,005	64	13,015
15	11,229	65	10,125
16	16,113	66	10,125
17	27,273	67	10,125
18	22,623	68	10,125
19	24,446	69	10,125
20	19,137	70	14,699
21	13,104	71	17,113
22	11,250	72	12,334
23	11,523	73	10,005
24	10,005	74	10,005
25	10,005	75	13,668
26	10,005	76	16,403
27	10,005	77	12,453
28	11,872	78	10,932
29	13,920	79	14,245
30	11,872	80	9,969
31	10,005	81	11,277
32	10,005	82	19,951
33	10,005	83	16,134
34	10,005	84	17,342
35	10,005	85	14,418
36	10,005	86	13,327
37	10,005	87	10,125
38	10,005	88	10,125
39	10,005	89	13,859
40	12,344	90	22,509
41	11,535	91	22,224
42	17,669	92	14,544
43	12,884		
44	21,628		
45	12,539		
46	10,005		
47	15,673		
48	17,720		
49	11,563		
50	11,440		



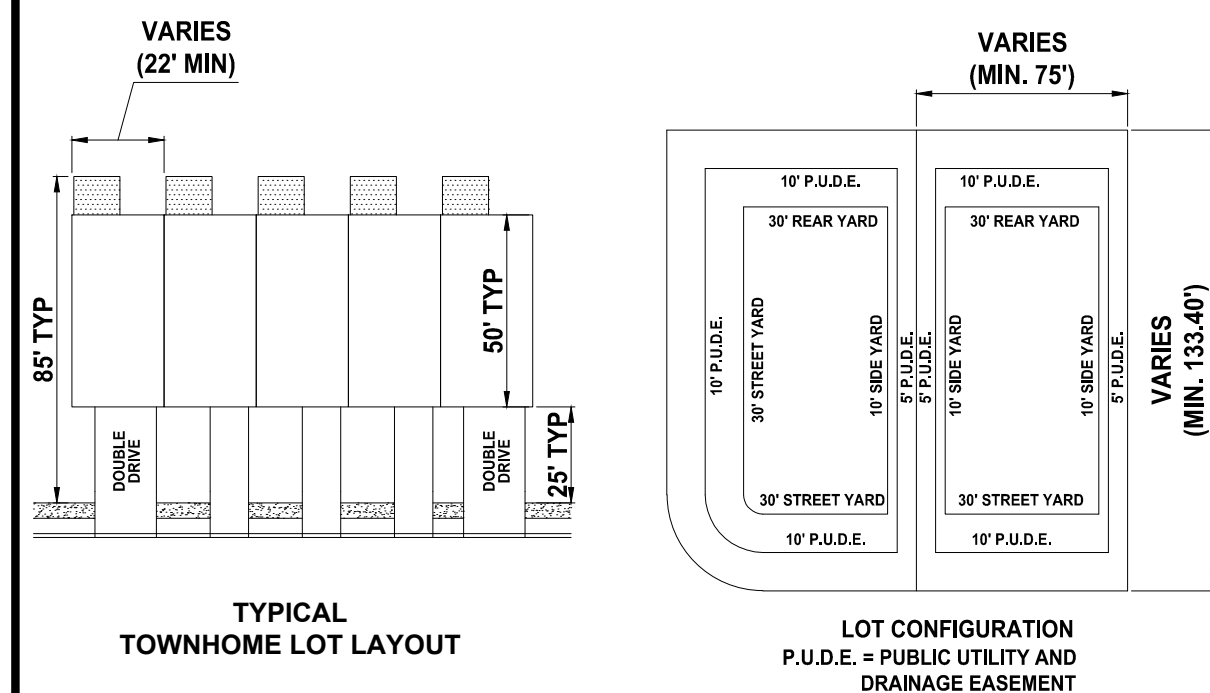
PROPERTY OWNER:
 BAXTER ENTERPRISES
 1100 HATCHER LANE
 COLUMBIA, TN 38401
 TAX MAP 98 PARCEL 51.00
 DEED BOOK R2351 PAGE 893

THIS PROPERTY IS LOCATED WITHIN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47119C0165E AND NO. 47119C0280E, BOTH DATED APRIL 16, 2007.

TYPE	SF OR LOTS
22' WIDE TOWNHOMES	122 UNITS
24' WIDE TOWNHOMES	129 UNITS
75' WIDE SINGLE-FAMILY RESIDENTIAL	92 LOTS
TOTAL	343

TYPE UNIT	# UNITS	GARAGE PARKING PROVIDED	DRIVEWAY PARKING PROVIDED	SURFACE PARKING PROVIDED
1 CAR GARAGE UNITS	251	251(0)	347	182
TOTAL PARKING PROVIDED		0 + 347 + 182 = 529		
TOTAL PARKING REQUIRED		251 X 2 = 502		

PHASE	NUMBER OF 75' SINGLE-FAMILY LOTS	NUMBER OF 22' TOWNHOME UNITS	NUMBER OF 24' TOWNHOME UNITS	TOTAL
PHASE 1	30	26	48	104
PHASE 2	34	38	35	107
PHASE 3	28	58	46	132
TOTAL	92	122	129	343



EXISTING SANITARY SEWER	— 8" SA —
SANITARY SEWER	— 8" SA —
WATER LINE	— W —
SANITARY SEWER MANHOLE	⊙
FIRE HYDRANT ASSEMBLY	⊕
WATER VALVE	⊕
STOP SIGN	⊕

REVISED SKETCH PLAT WILLIAMSPORT PIKE DEVELOPMENT

COLUMBIA, TENNESSEE
 MAURY COUNTY
 DECEMBER 2, 2021

MES MARTIN ENGINEERING & SURVEYING, LLC
 818 S. Main Street
 Columbia, TN 38401
 615.812.2147
 gary@martinengr.com



ITEM #12

TECHNICAL COMMITTEE COMMENT FORM

January 11, 2022

NAME OR DEPARTMENT: _____

Case Number: 21-0295

Request from Civil Design Consultants for site plan approval of Legacy at Highland Estates off Willis Way being Tax Map 75 Parcel 51.06.

COMMENTS:

SITE PLANS FOR LEGACY AT HIGHLAND ESTATES

PENTAGON HOLDINGS LLC - DEVELOPER WILLIS WAY



CIVIL DESIGN CONSULTANTS, LLC
 CIVIL ENGINEERS - LAND PLANNERS
 CIVIL DESIGN CONSULTANTS, LLC
 8170 OOLEY DAVIS RD., NASHVILLE, TN 37221
 PHONE: (615) 319-2734 FAX: (615) 319-2735

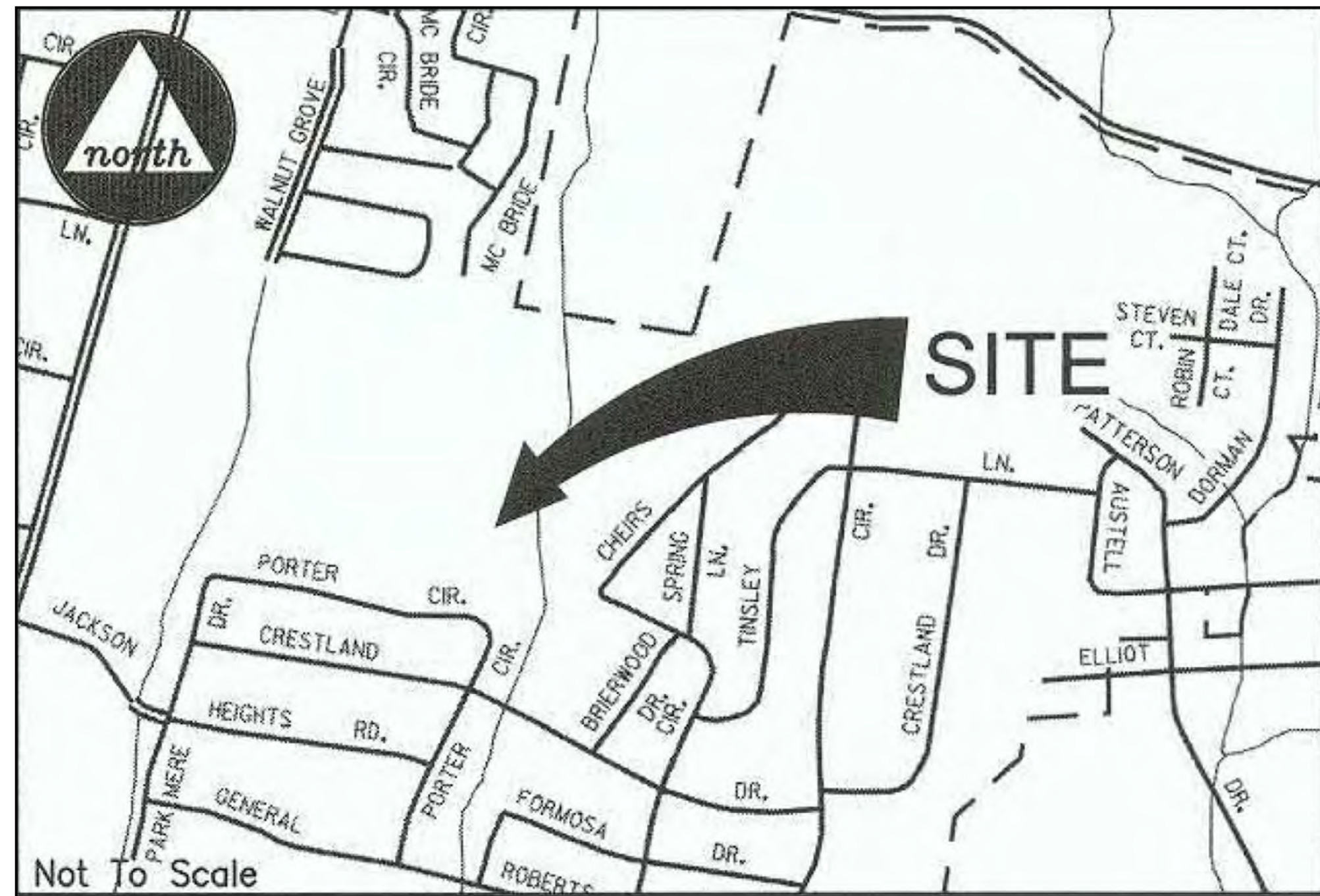


LEGACY AT HIGHLAND ESTATES
 WILLIS WAY
 MAURY COUNTY, COLUMBIA TENNESSEE

COVER SHEET



CIVIL DESIGN CONSULTANTS, LLC
 CIVIL ENGINEERS - LAND PLANNERS
 CIVIL-DESIGN-CONSULTANTS, LLC
 8170 OOLEY DAVIS RD., NASHVILLE, TN 37221
 PHONE: (615) 319-2734 EMAIL: CIVILCONSULTANTS@BELLSOUTH.NET



LOCATION MAP- NTS

INDEX OF SHEETS

SHEET	DESCRIPTION
C0	COVER SHEET
C0	EXISTING CONDITIONS PLAN
C1	SITE LAYOUT PLAN
C2	GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN
C3	STORMWATER PLAN - INITIAL
C4	STORMWATER PLAN - INTERMEDIATE
C5	STORMWATER PLAN - FINAL
C6	SITE PHOTOMETRIC PLAN
L1	LANDSCAPE ARCHITECTURE PLAN
ARCH	REPRESENTATIVE ARCHITECTURAL

CURRENT ZONING: MHP\RS20

PROPERTY INFORMATION:

OWNER: ALVIN TYLER LUNA
 921 BAKER RD.
 COLUMBIA, TN 38401

 PARCEL NUMBER: TAX MAP 75 PARCEL 51.06
 DEED BOOK: 649 PG 28

 OPTIONEE\DEVELOPER
 BLAKE SEEBERGER
 1600 Division St Ste 700
 Nashville, TN 37203-2771

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO ALLOW FOR CONSTRUCTION OF A
 MANUFACTURED AND MODULAR HOME DEVELOPMENT

CITY OF COLUMBIA, TENNESSEE
MAURY COUNTY

UTILITY SERVICES:

 WATER SERVICE
 COLUMBIA POWER & WATER SYSTEMS
 201 PICKENS LANE
 COLUMBIA, TENNESSEE 38401
 (931) 388-4833

 ELECTRIC SERVICE
 COLUMBIA POWER & WATER SYSTEMS
 201 PICKENS LANE
 COLUMBIA, TENNESSEE 38401
 (931) 388-4833

 NATURAL GAS
 ATMOS ENERGY
 810 NASHVILLE HIGHWAY
 COLUMBIA, TENNESSEE 38401
 (931) 388-9136

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	NONE
DATE:	DECEMBER 20, 2021
JOB NO.	WK. ORDER
2021-12	001
SHEET NO.	
CS	

SITE DEMOLITION NOTES:

1. ANY EXISTING ASPHALT SHALL BE SAWCUT AT LIMITS OF DEMOLITION. SAW CUT AND TIE IN CURBING, ASPHALT OR CONCRETE TO MATCH.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN DEMOLITION AREAS PRIOR TO CONSTRUCTION. NOTIFY APPLICABLE GOVERNING BODIES AT A MINIMUM OF 3 DAYS IN ADVANCE FOR FIELD VERIFICATION OF EXISTING UTILITIES. CONTACT THE APPROPRIATE UTILITY DEPARTMENT, FOR MORE INFORMATION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE OF EXISTING UTILITIES TO REMAIN THROUGHOUT THE DURATION OF CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN PROPER DRAINAGE WITHIN THE LIMITS OF CONSTRUCTION THROUGHOUT THE DURATION OF CONSTRUCTION.

SITE PREPARATION NOTES:

1. BEFORE ANY CLEARING/GRUBBING WORK IS INITIATED, THE CONTRACTOR AND REPRESENTATIVES OF BOTH ARCHITECT AND CIVIL ENGINEER WILL "WALK-OUT" THE "LIMIT OF CLEAR LINE" AND INSURE THAT IT IS CLEARLY MARKED AND VISIBLE.
2. THE SCOPE OF CONTRACT SITE PREPARATION SHALL INCLUDE CLEARING AND GRUBBING, EXCAVATION AND DISPOSAL OF ALL REMOVED TREES, VEGETATION AND OTHER DELETERIOUS MATERIAL. THE SITE PREPARATION CONTRACTOR SHALL ACCOMPLISH GRADING TO REQUIRED SUBGRADE; HOWEVER, PROPOSED CONTOURS ARE SHOWN TO FINISH SURFACE GRADE.
3. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE, AT A SPOT TO BE FIELD DETERMINED BY THE CIVIL ENGINEER, AND LATER BE USED FOR SUBSEQUENT USE IN FINAL DRESSING AND SEEDBED PREPARATION. SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF WORK ON THE PROJECT.
4. THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATERIALS DEEMED "UNSUITABLE" BY THE SOILS AND CIVIL ENGINEERS SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE PROPERTIES, THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S. SITE FOR THE DISPOSAL OF SAID MATERIALS SHALL FIRST BE APPROVED BY THE CIVIL ENGINEER.

GENERAL NOTES

1. THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO THE CONSTRUCTION OF PROJECTS SUCH AS THIS ONE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES OF FIELD STAKING NECESSARY FOR SITE LAYOUT. ALL LAYOUT SHALL BE PERFORMED IN ACCORDANCE WITH DETAIL PLANS AS OUTLINED IN THE PROPOSED PROFILE PLAN. PROPER PLANS SHOULD BE USED FOR ALL NEEDED STAKING.
3. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC., ARE NOT SHOWN ON THIS PORTION OF THE PLANS BUT ARE AVAILABLE FROM THE EXISTING UTILITY PROVIDERS. HOWEVER, CIVIL DESIGN CONSULTANTS, LLC, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATION DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
4. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AS HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THEREFORE, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, AND LIGHTS.
5. THE SITE DEVELOPMENT PORTION OF THIS PROJECT WILL BE SUBJECT TO THE INSPECTION AND FINAL APPROVAL OF APPROPRIATE DEPARTMENTS HAVING JURISDICTION WITHIN THE CITY OF COLUMBIA, MAURY COUNTY.
6. IF, DURING THE CONSTRUCTION OF THE SITE DEVELOPMENT PORTION OF THIS PROJECT, A QUESTION OF INTENT OR CLARITY ARISES FROM EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR WILL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER FOR RESOLUTION BEFORE THE AFFECTED WORK ITEMS ARE INITIATED OR PURSUED FURTHER.
7. THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD POWER LINES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED LINES, THE ELECTRIC AND/OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD LINES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
9. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE, AT A SPOT TO BE FIELD DETERMINED BY THE CIVIL ENGINEER, AND SHALL LATER BE USED FOR SUBSEQUENT USE IN FINAL DRESSING AND SEEDBED PREPARATION. SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF THE WORK ON THE PROJECT.
10. THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATTER OR MATERIALS DEEMED "UNSUITABLE" BY THE SOILS AND CIVIL ENGINEERS SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE PROPERTIES, THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S. SITE FOR THE DISPOSAL OF SAID MATERIALS SHALL FIRST BE APPROVED BY THE CIVIL ENGINEER.
11. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 100% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 24 INCHES BENEATH PAVEMENT AND GRADE SLABS.

EXISTING TREES ALONG PROPERTY LINE SHALL BE LOCATED AND PRESERVED WHERE POSSIBLE UPON STAKING OF PROPERTY LINE. SEE STORMWATER SHEET C4 FOR TREE PROTECTION DETAIL.

SEE SHEET C1 FOR PROPOSED LOCATION OF THE CROSS ACCESS EASEMENT AS IT IS INTEGRATED INTO THE PROPOSED INGRESS/EGRESS/PUDE EASEMENT.

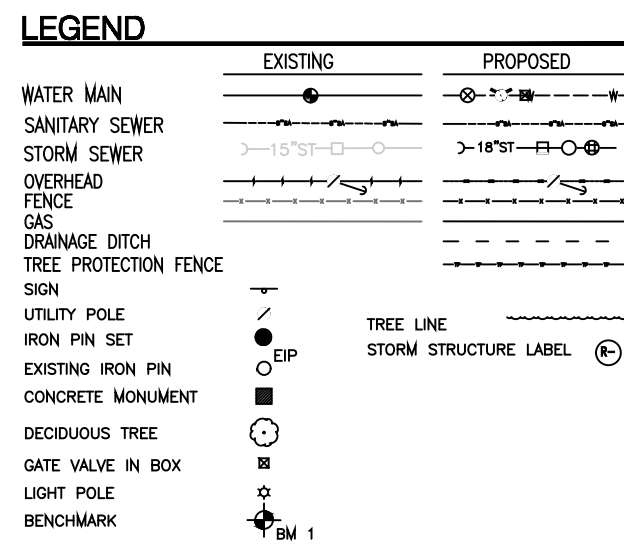
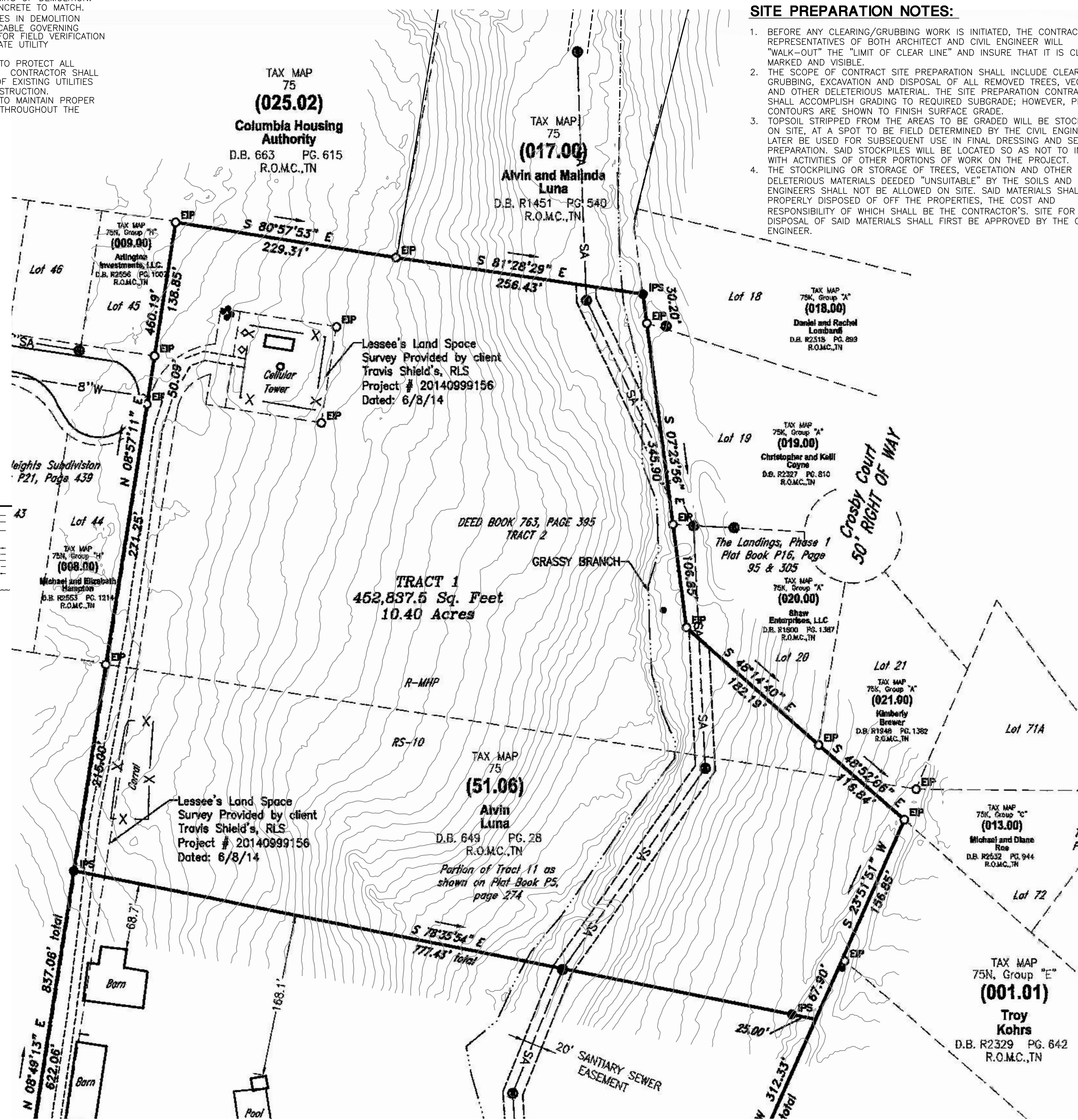
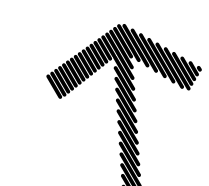
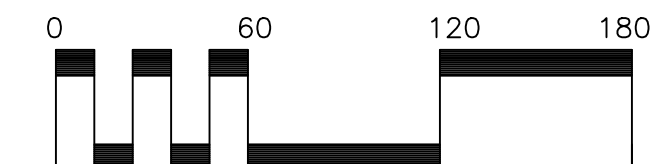
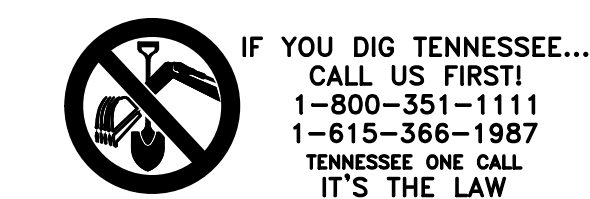
SURVEY PROVIDED BY BROWN LAND SURVEYING, LLC
105 LUTHER ROAD
DICKSON, TN
PHONE: 615-351-7367

CLEARING AND GRUBBING NOTE:

ALL CLEARING AND GRUBBING SHALL BE COMPLETED PER CITY OF COLUMBIA REQUIREMENTS.

SITE BENCHMARK NOTE:

SITE BENCHMARK SHALL BE SET BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.



GEOTECHNICAL NOTE:

NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY CIVIL DESIGN CONSULTANTS, LLC AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

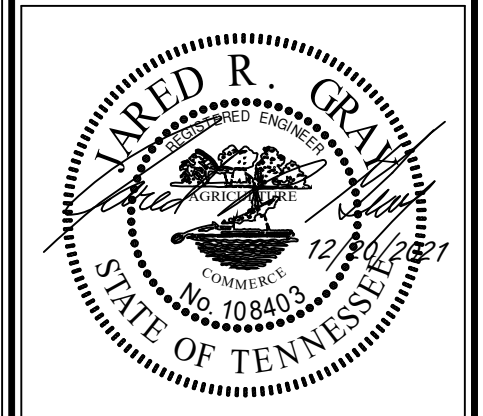
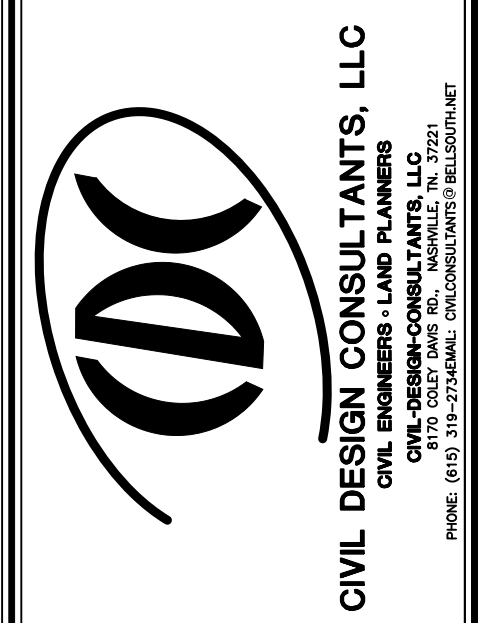
EXISTING CONDITIONS NOTE:

EXISTING CONDITIONS SHOWN ON THIS PLAN TAKEN FROM FIELD RUN SURVEY DATA COMPLETED BY BROWN LAND SURVEYING, AND OTHERS. CIVIL DESIGN CONSULTANTS LLC, AND THIS ENGINEER, ASSUME NO LIABILITY AS TO THE COMPLETENESS OR ACCURACY OF WHAT IS SHOWN TO BE EXISTING. CONTRACTOR SHALL VERIFY IF NECESSARY ALL EXISTING CONDITIONS AND NOTIFY CIVIL ENGINEER IN THE EVENT THAT DISCREPANCIES EXIST.

UTILITIES SHOWN FROM AVAILABLE MAPS AND SURVEY INFORMATION. CONTRACTOR SHALL CONFIRM ALL ITEMS SHOWN.

SITE ACREAGE:

SITE ACREAGE IS 10.4± ACRE. CURRENT ZONING IS MHP, R20



LEGACY AT HIGHLAND ESTATES
WILLIS WAY
MAURY COUNTY, COLUMBIA TENNESSEE

EXISTING CONDITIONS PLAN

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	2021-12
WK. ORDER	001
SHEET NO.	CO

APPLICABLE DEVELOPMENT STANDARD: R-MHP, RS20
 ACREAGE OF SITE: 10.40± ACRES
 SQUARE FOOTAGE OF SITE: 452,838± S.F.
 DISTURBED ACREAGE: 8.48± ACRES
 MINIMUM BUILDING SETBACK LINES:
 FRONT: HPR
 SIDE: HPR
 REAR: HPR
 OWNER/APPLICANT:

PENTAGON HOLDINGS LLC
 1600 Division St Ste 700
 Nashville, TN 37203-2771

CONTACT:
 BLAKE SEEBERGER

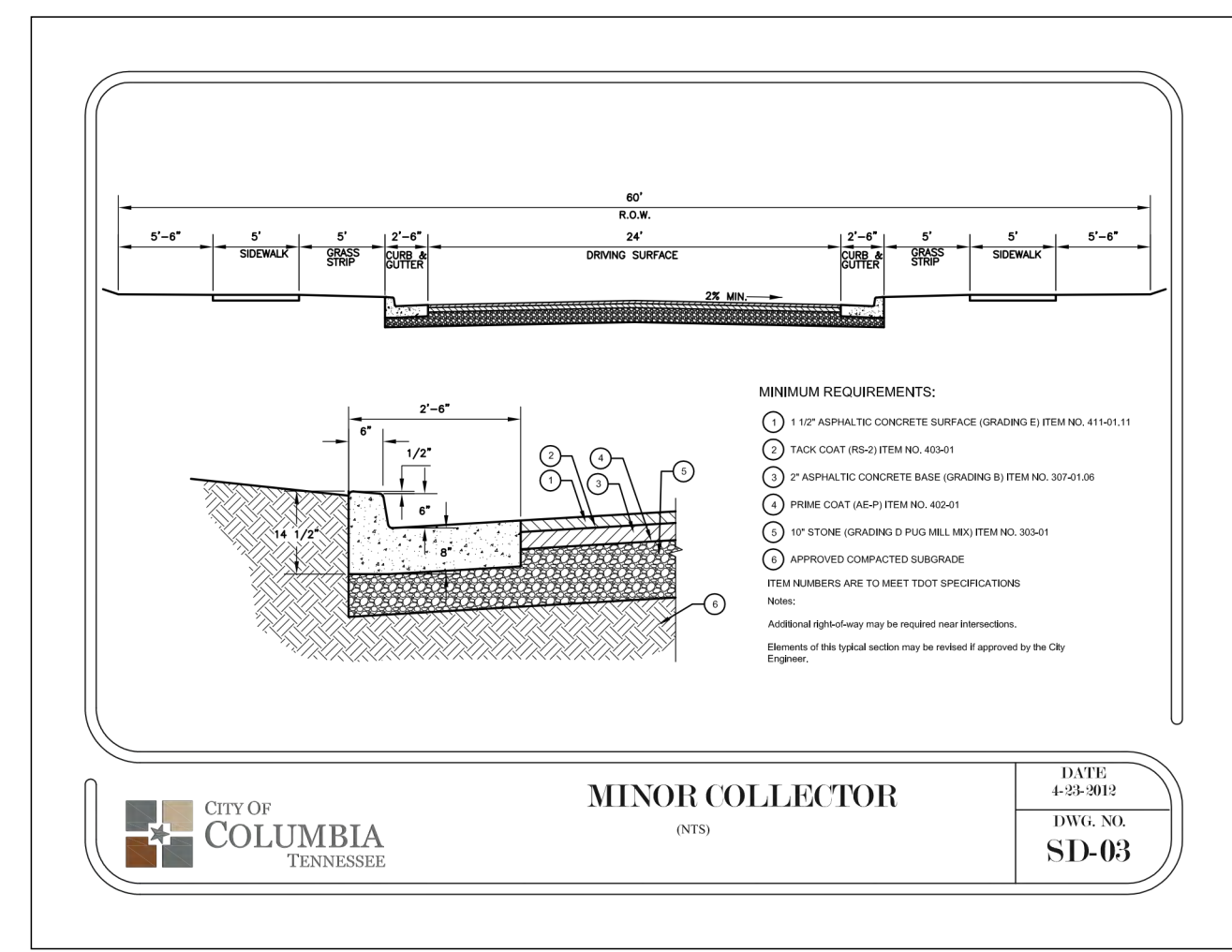
APPLICANT: CIVIL ENGINEER
 MR. JARED R. GRAY, P.E.
 CIVIL DESIGN CONSULTANTS, LLC.
 8170 COLEY DAVIS RD.
 NASHVILLE, TN 37221
 (615) 638-8207

THIS DEVELOPMENT WILL BE AN HORIZONTAL PROPERTY REGIME (HPR)
 67 SINGLE FAMILY MANUFACTURED HOMES IN R-MHP ZONE
 5 RS20 MODULAR HOMES PROPOSED AGAIN WITHIN HPR
 ALL LOT AREAS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY - HPR IS ACROSS THE WHOLE TRACT
 PROPOSED BUILDING USE: RESIDENTIAL-MULTI FAMILY

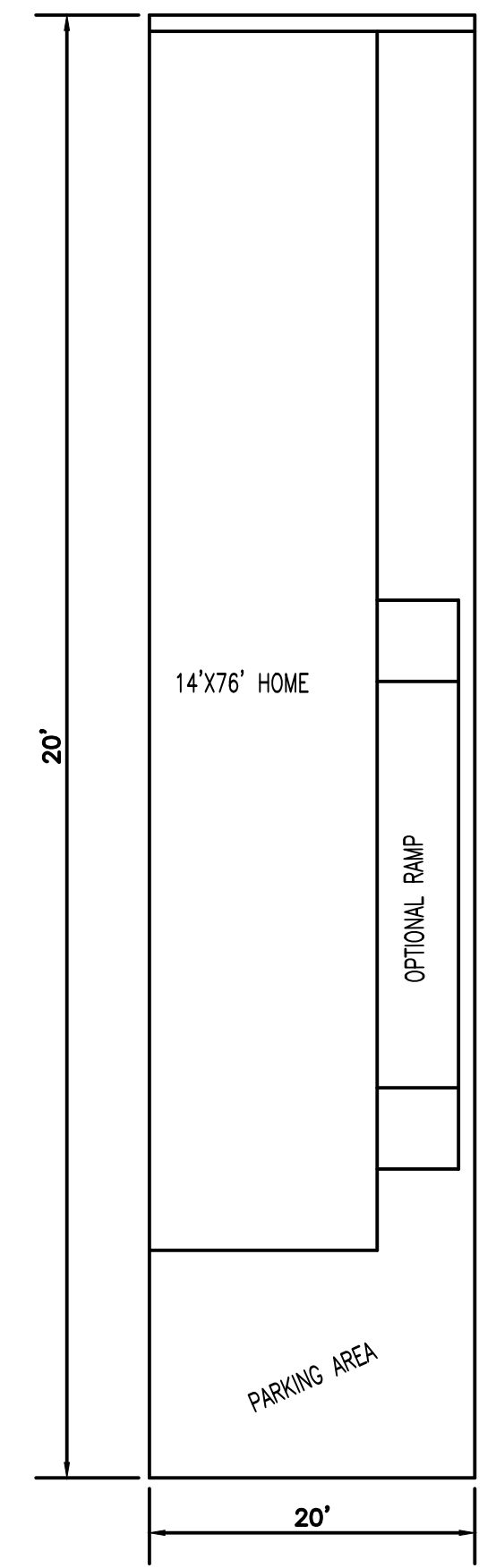
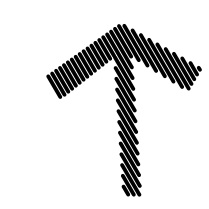
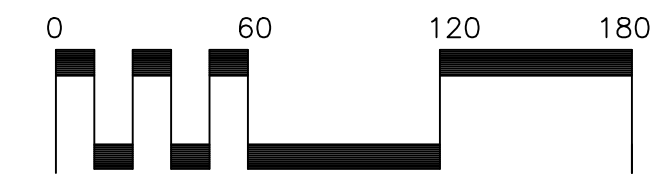
SEE THE FOLLOWING WEBSITE <https://www.columbiatn.com/220/Standard-Details-Drawings> FOR DETAILS
 ALL WORK SHALL BE DONE IN ACCORDANCE TO THE CITY OF COLUMBIA DETAILS AND REGULATIONS

LAYOUT NOTES

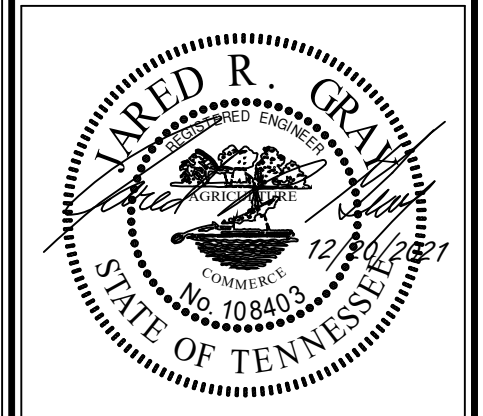
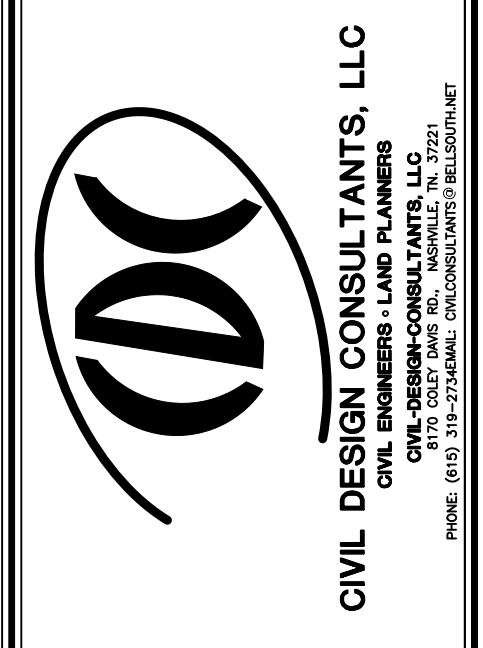
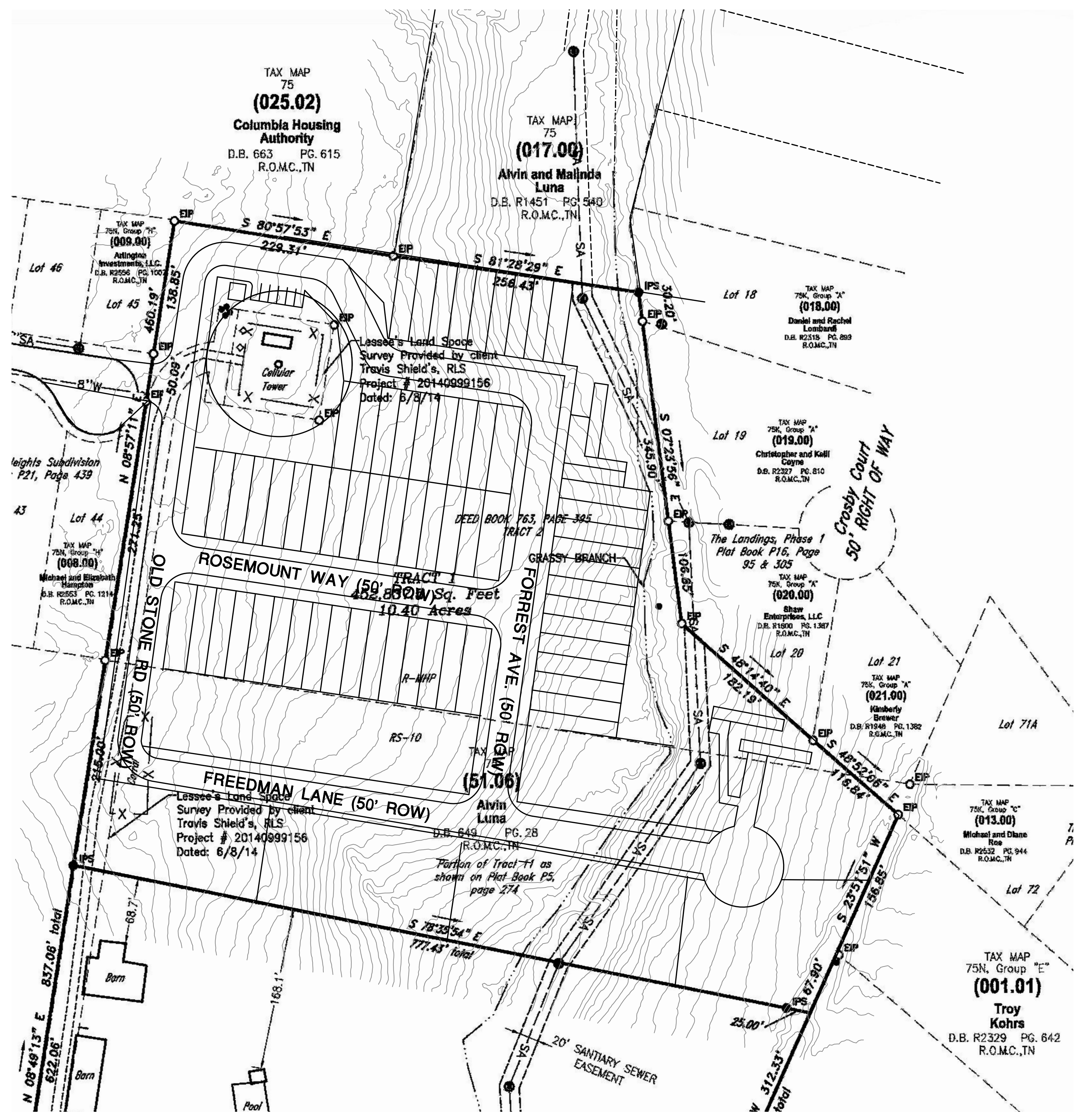
1. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE OR ENGINEER PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. THE CONTRACTOR SHALL CONFORM TO ALL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
5. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
6. DIMENSIONS ARE TO THE EDGE OF ASPHALT AND FINISH GRADE UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
8. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
9. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.



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 1-615-366-1987
 TENNESSEE ONE CALL
 IT'S THE LAW



TYPICAL R-MHP LOT
 NOT TO SCALE



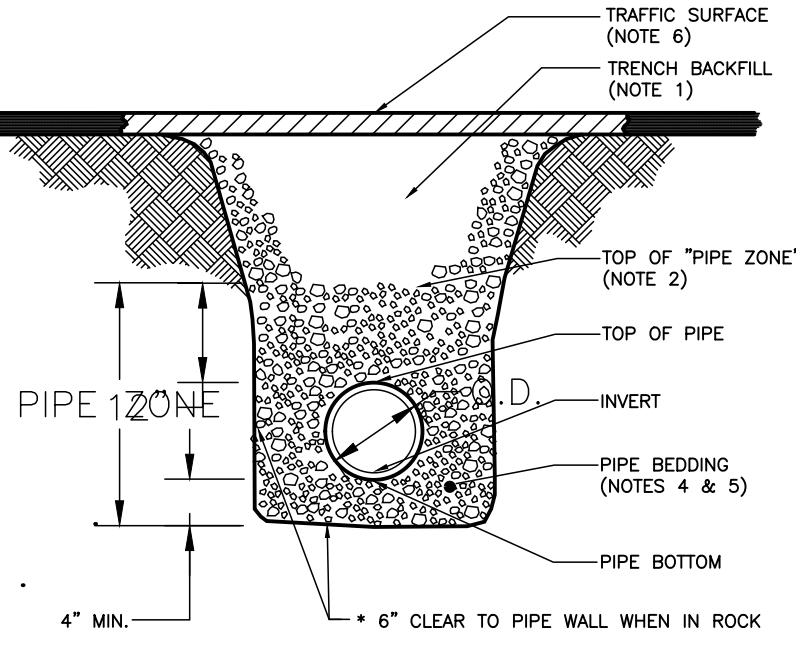
LEGACY AT HIGHLAND ESTATES
 WILLIS WAY
 MAURY COUNTY, COLUMBIA TENNESSEE

SITE LAYOUT PLAN

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	2021-12
WK. ORDER	001
SHEET NO.	
C1	

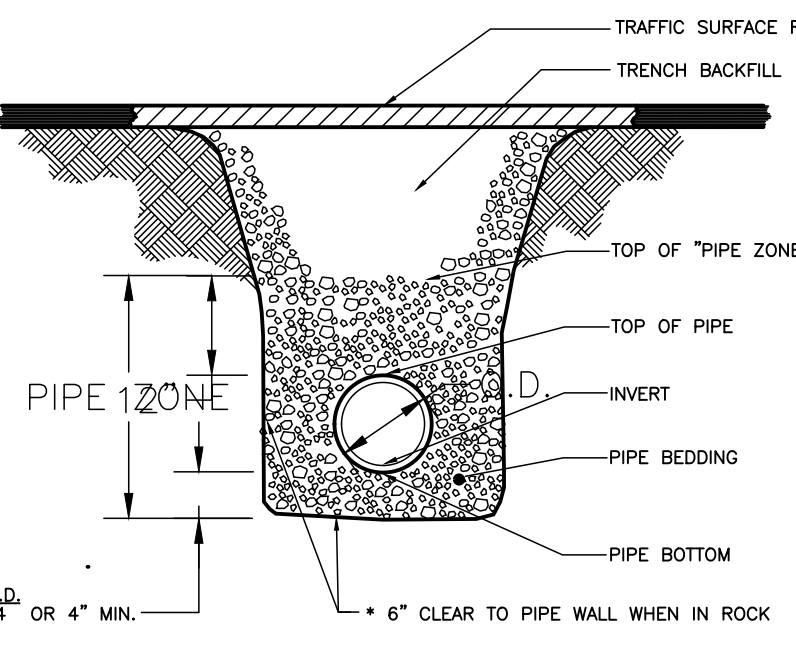
ALL PROPOSED STORM WATER INLETS ARE DOUBLE INLETS

- NOTES:
1. BACKFILL MATERIAL SHALL CONSIST OF CRUSHED STONE (#57 OR #67).
2. PIPE ZONE EXTENDS TO 12" ABOVE TOP OF PIPE. BACKFILL IS TO BE CRUSHED STONE, GRAVEL OR OTHER GRANULAR MATERIAL.



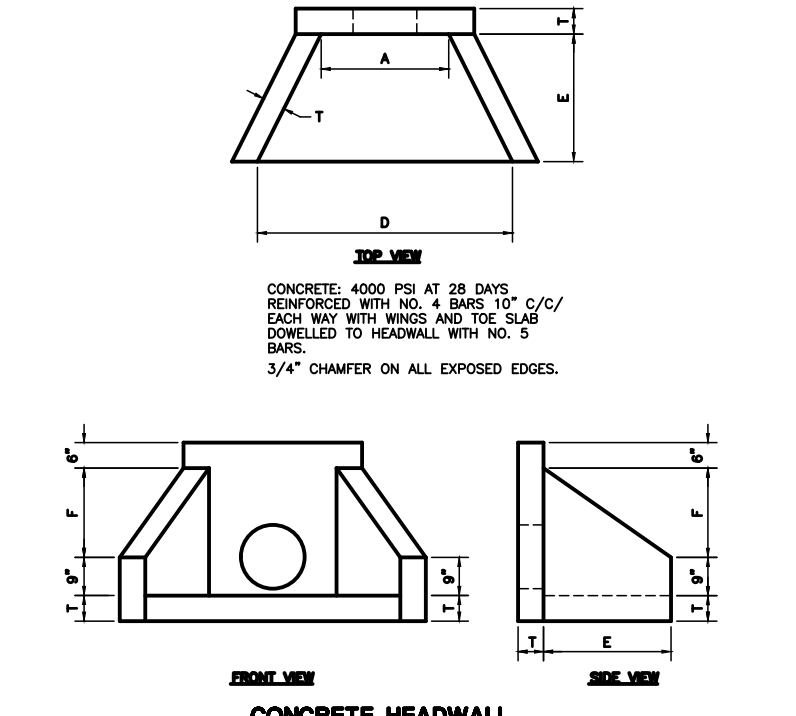
SEWER LINE INSTALLATION IN TRAFFIC AREAS NOT TO SCALE

- NOTE: SEE PROJECT SPECIFICATIONS FOR TRENCHING, BEDDING, PIPELAYING, BACKFILLING, TRAFFIC SURFACE REPAIR AND OTHER PERTINENT REQUIREMENTS IN TRAFFIC AREAS.



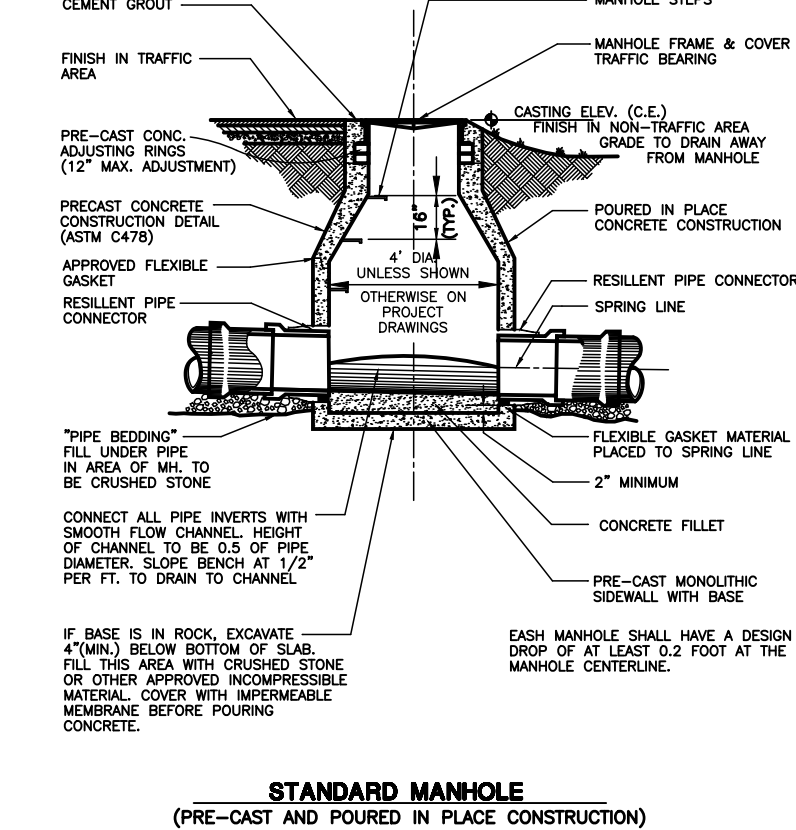
WATER LINE INSTALLATION IN TRAFFIC AREAS NOT TO SCALE

TABLE OF DIMENSIONS table with columns for pipe size, depth, and dimensions.



CONCRETE HEADWALL NOT TO SCALE

NOTE: MANHOLE DIAMETER SIZING SHALL BE AS FOLLOWS



STANDARD MANHOLE (PRE-CAST AND POURED IN PLACE CONSTRUCTION)

Main site plan showing lots 18-21, manholes A-1 through D-1, sewer lines, easements, and utility services. Includes tax map information and various survey notes.

GENERAL, GRADING AND DRAINAGE NOTES:

- 1. ALL GRADING AND DRAINAGE WORK AS SHOWN ON THIS PLAN WILL BE DONE IN STRICT ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE APPROPRIATE CITY AUTHORITY, UTILITY PROVIDER & STATE AGENCY.
2. THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT.

GENERAL SEWER NOTES:

- 1. THE CONTRACTOR'S AUTHORIZED FIELD REPRESENTATIVE SHALL NOTIFY THE APPROPRIATE ENTITIES AND WATER AUTHORITY 48 HOURS PRIOR TO COMMENCING ANY WORK ON THE SANITARY SEWER LINE EXTENSIONS.
2. ALL MATERIALS AND WORKMANSHIP FOR SANITARY SEWER LINES AND APPURTENANCES WILL BE IN STRICT COMPLIANCE WITH THE CURRENT SPECIFICATIONS OF THE WATER AUTHORITY.

CONCRETE WASH DOWN/EQUIPMENT FUELING NOTE:

CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH THE CURRENT LATEST EDITION OF TDCS EROSION AND SEDIMENT CONTROL HANDBOOK.

ADA GRADING NOTE:

CONTRACTOR TO COMPLY WITH THE CURRENT ADA MANDATES WITH RESPECT TO DETECTABLE WARNING STRIPS AND SLOPE REQUIREMENTS FOR ALL HANDICAP ACCESSIBLE PATHS AND PARKING SPACES.

WATER SERVICE LINE NOTE:

ALL WATER SUPPLY LINES FROM THE WATER MAIN ARE 3/4"

SEWER UTILITY NOTE:

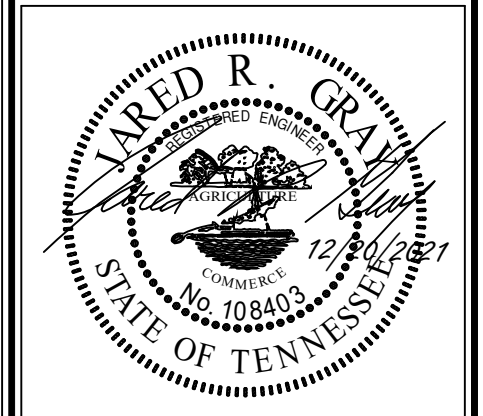
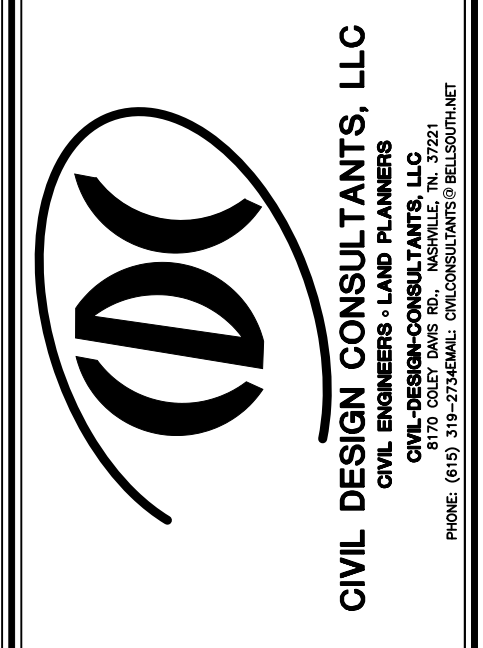
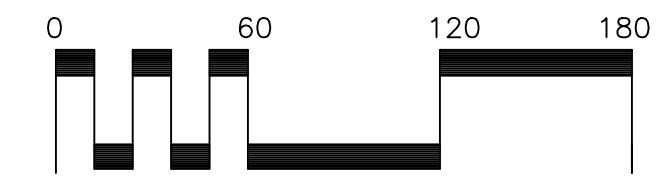
CONTRACTOR TO UNearth AND VERIFY INVERT OF EXISTING SEWER PRIOR TO CONSTRUCTION ALL SEWER MAIN LINES TO BE 8" ALL SEWER SERVICE LINES ARE TO BE 4"

SEWER CLEANOUT NOTE:

CLEANOUTS TO BE PLACED 5' OUTSIDE OF BUILDING - SEE BUILDING PLUMBING PLANS ALL CLEANOUTS AND MANHOLE FRAMES/LIDS TO BE TRAFFIC BEARING IN VEHICULAR AREAS.



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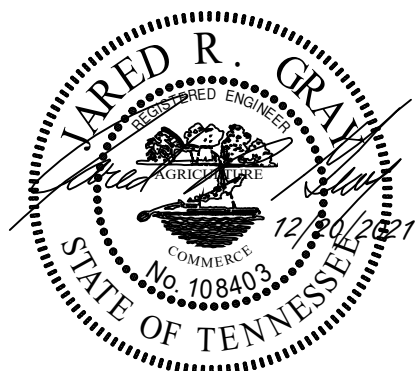


LEGACY AT HIGHLAND ESTATES WILLIS WAY MAURY COUNTY, COLUMBIA TENNESSEE GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN

Table with project details: DESIGNED BY: J. GRAY, DRAWN BY: J. GRAY, APPROVED BY: J. GRAY, SCALE: As Shown, DATE: DECEMBER 20, 2021, JOB NO: 2021-12, WK. ORDER: 001, SHEET NO: C2



CIVIL DESIGN CONSULTANTS, LLC
 CIVIL ENGINEERS - LAND PLANNERS
 CIVIL ENGINEERS - CONSULTANTS, LLC
 PHONE: (615) 331-2724 FAX: (615) 331-2725

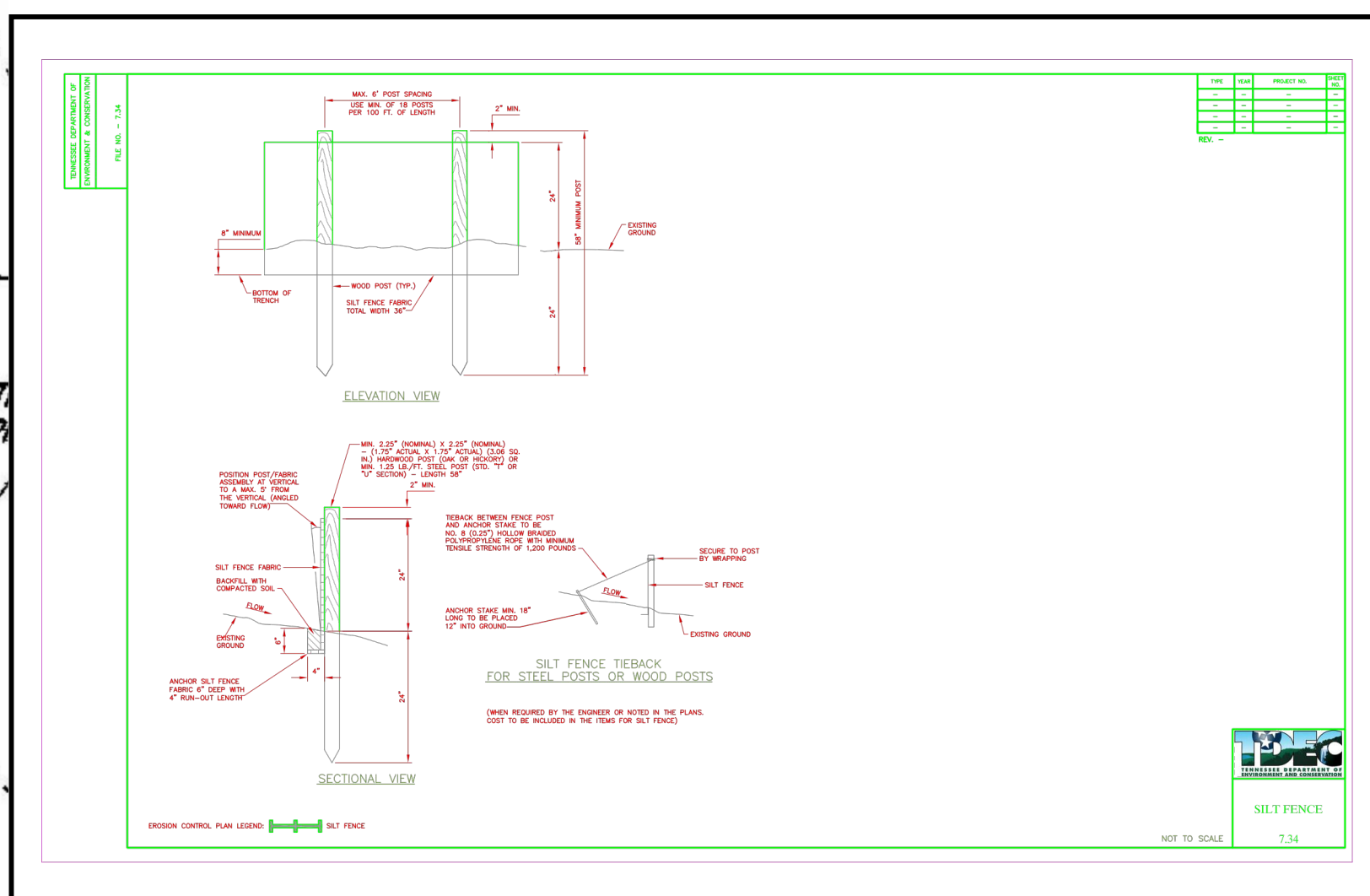
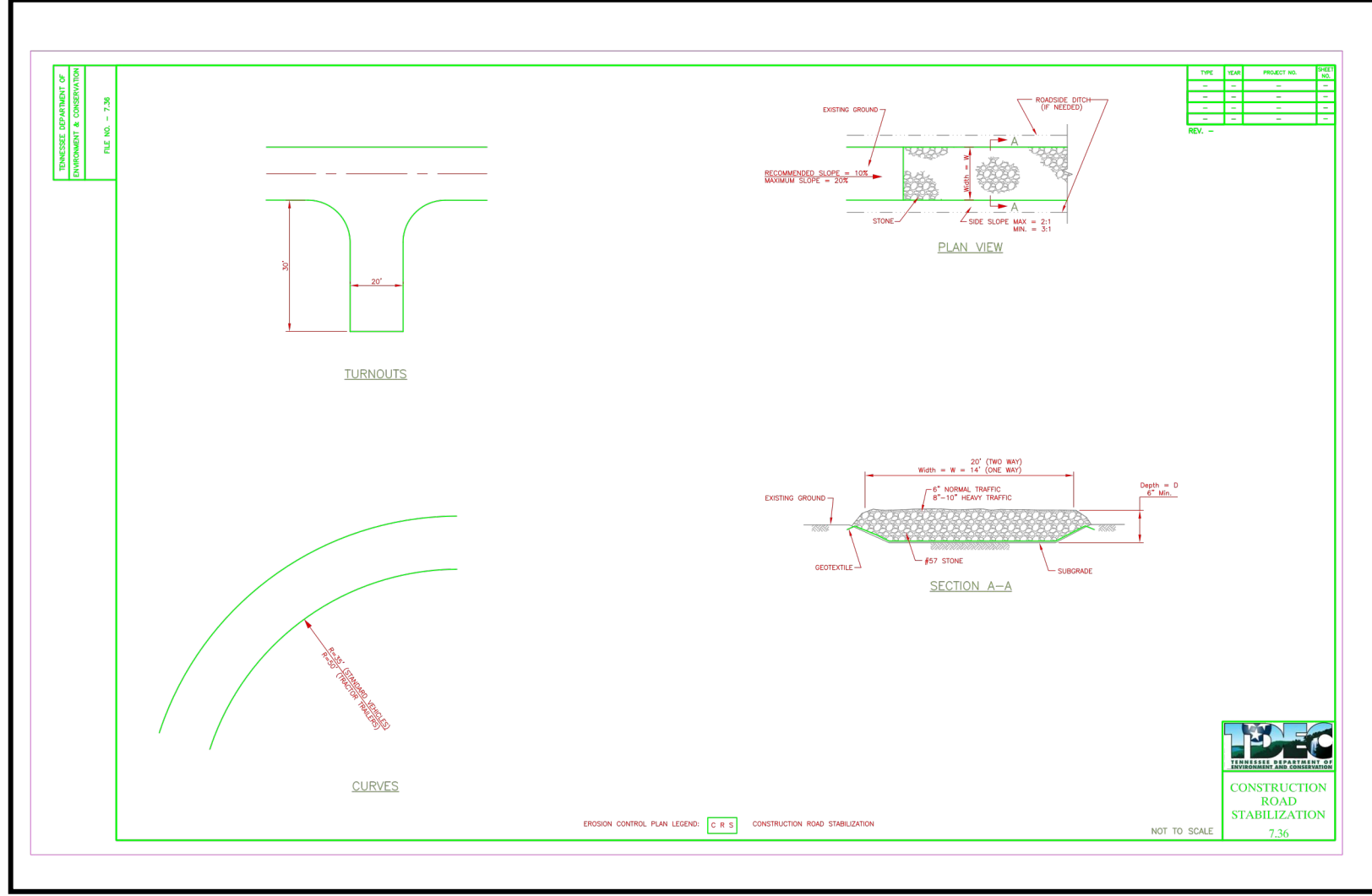
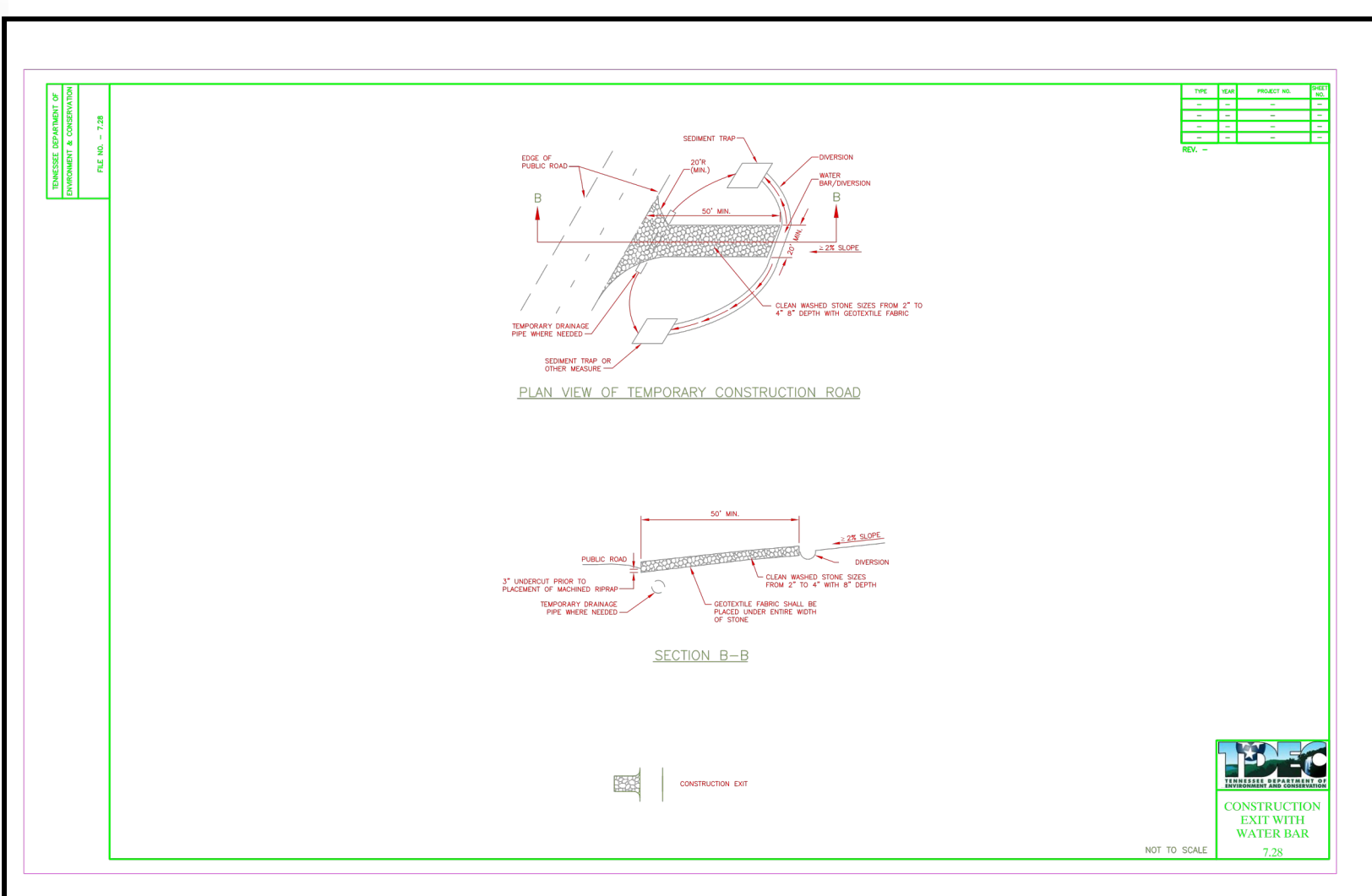
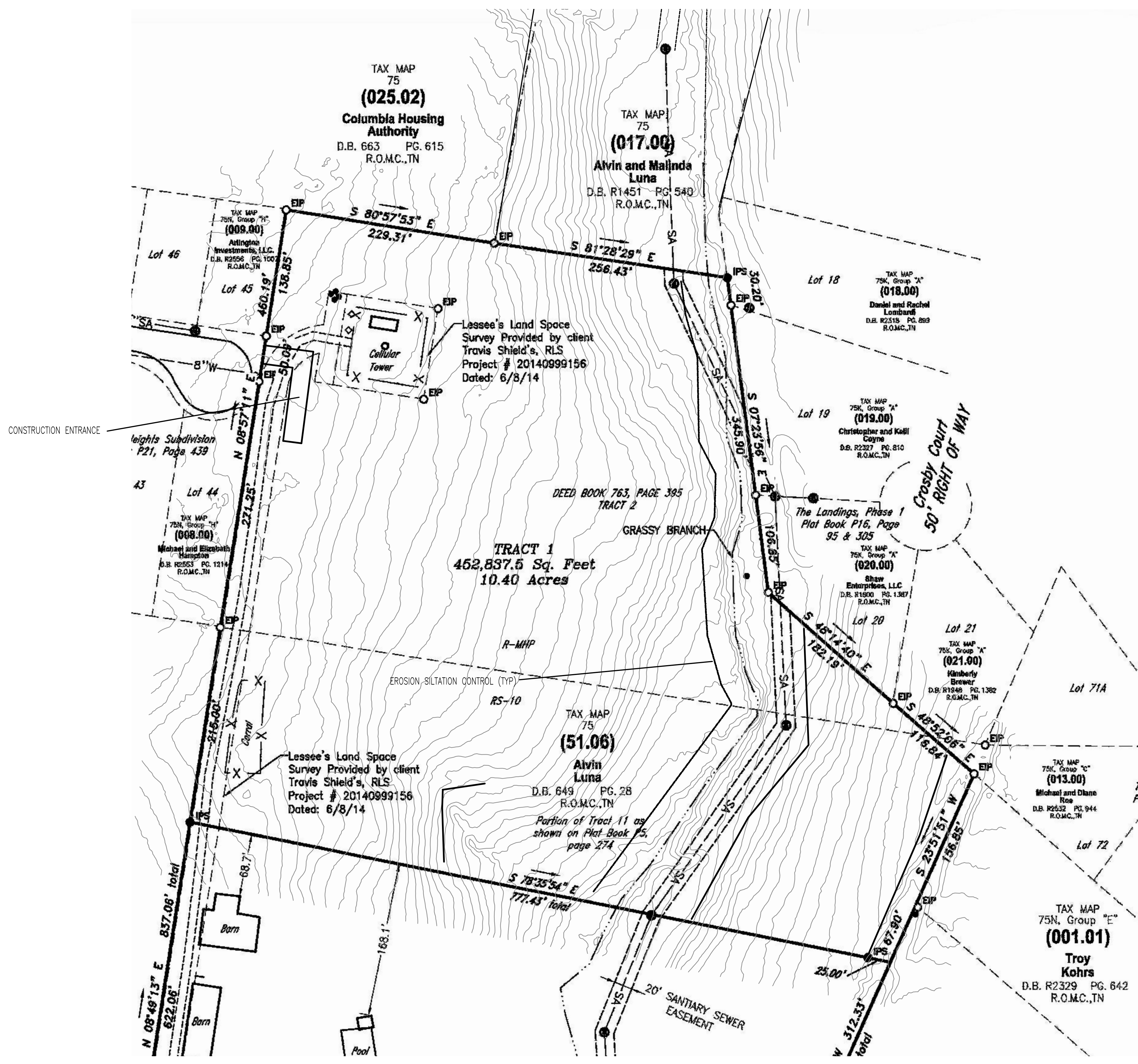


LEGACY AT HIGHLAND ESTATES

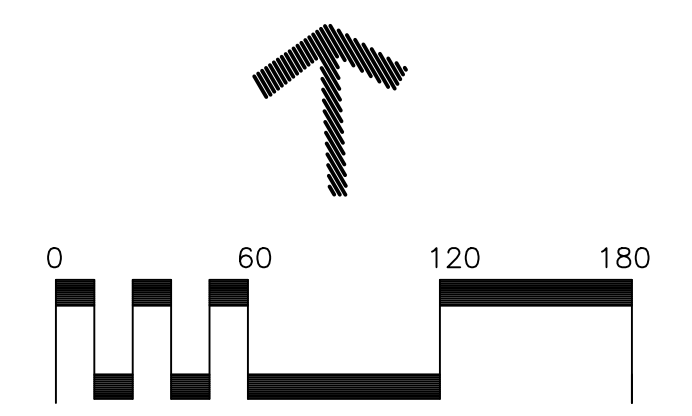
WILLIS WAY
 MAURY COUNTY, COLUMBIA TENNESSEE

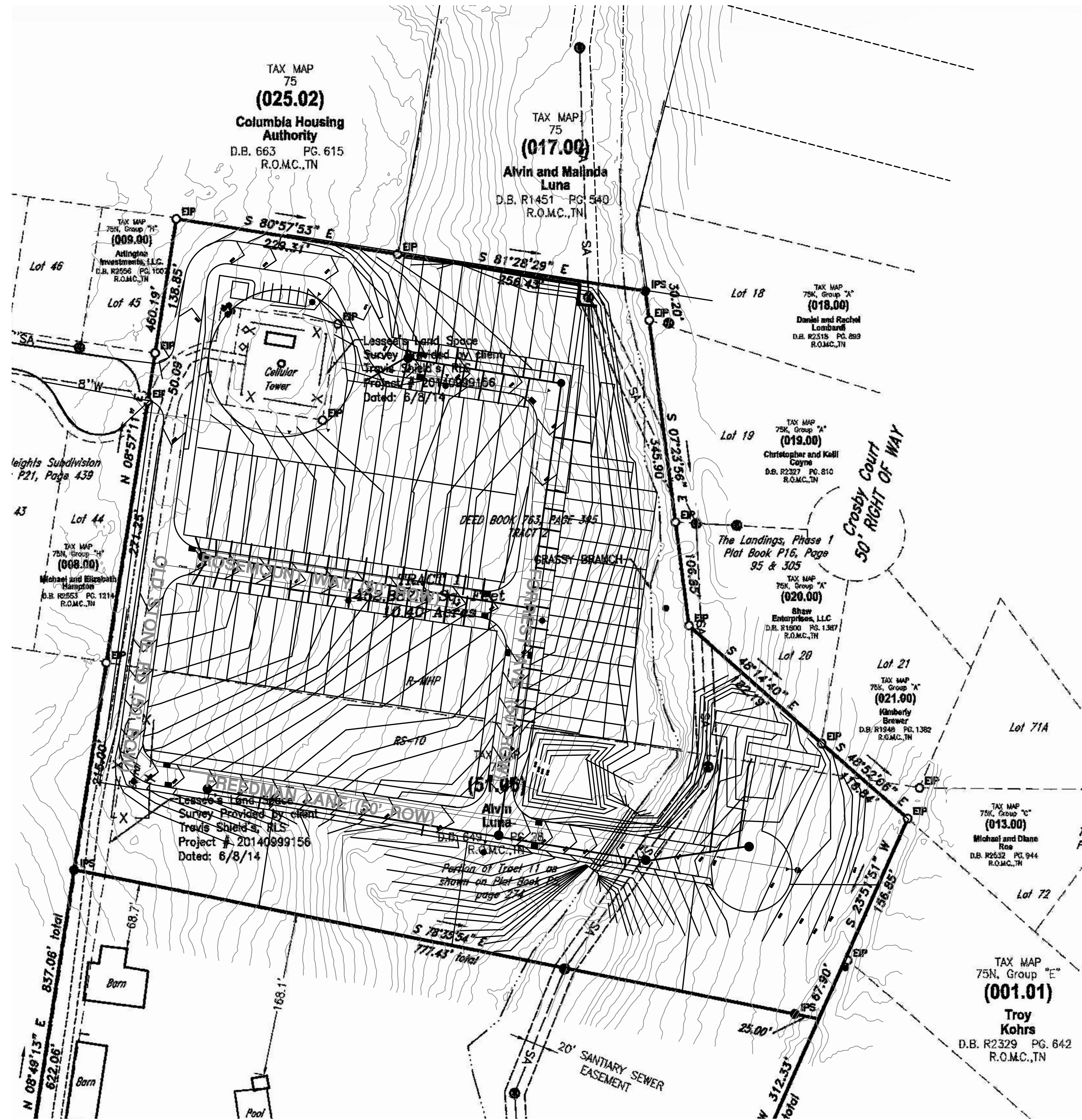
STORMWATER PLAN - INITIAL

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	2021-12
WK. ORDER	001
SHEET NO.	C3

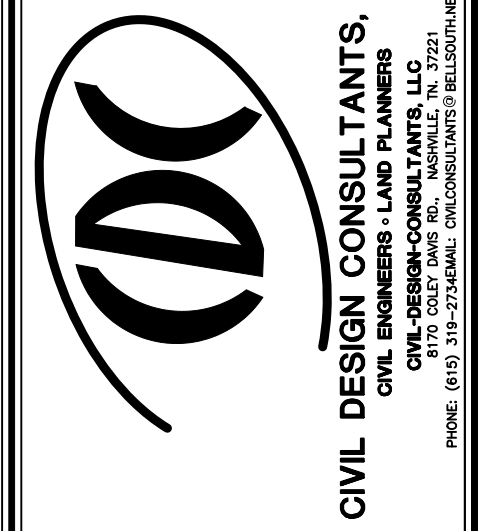


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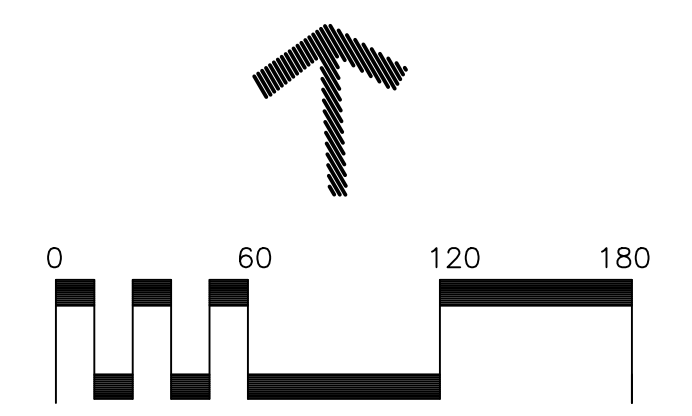
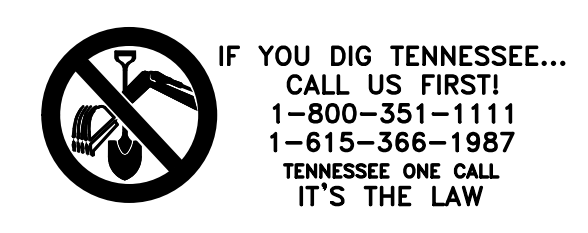


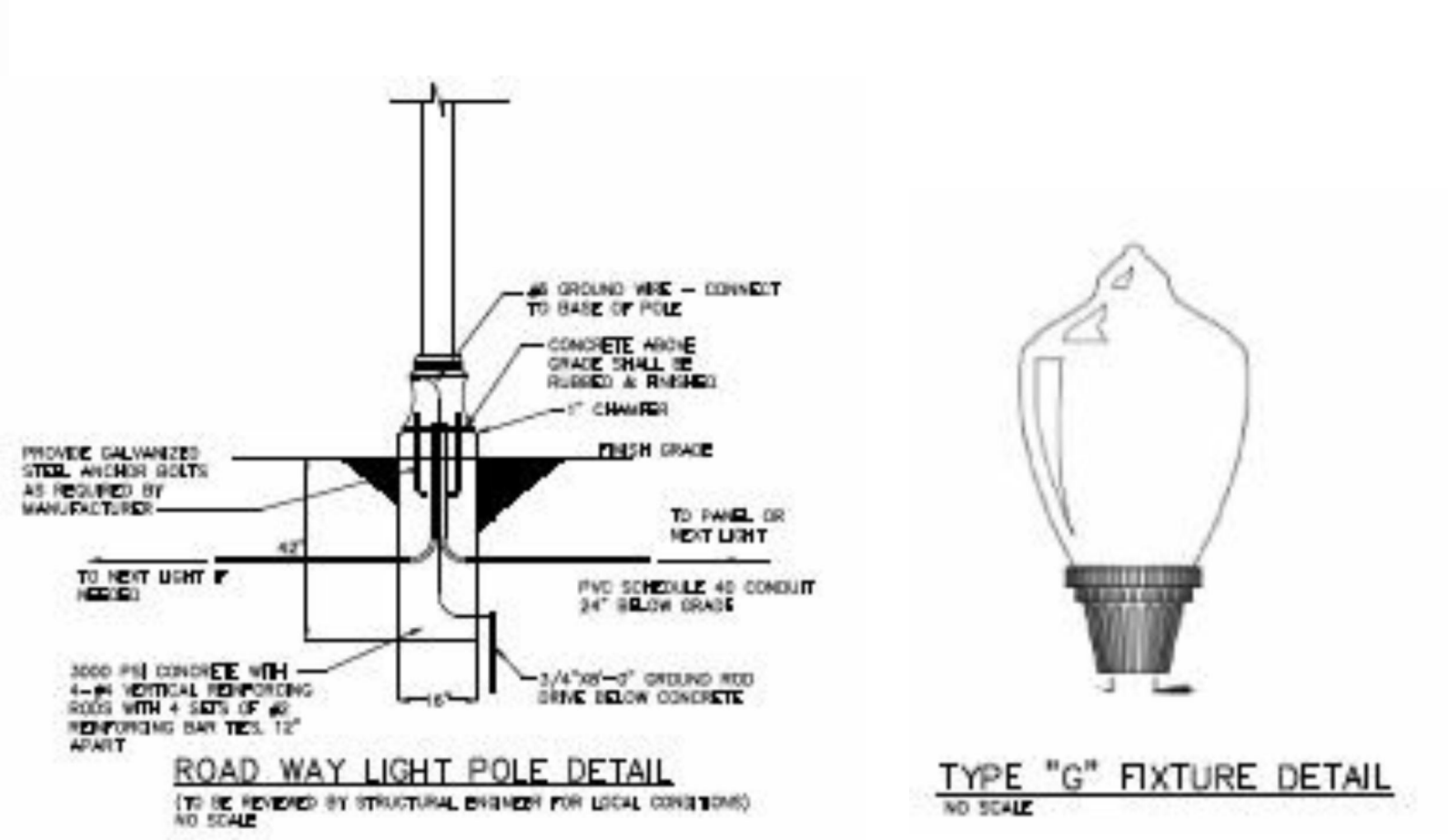
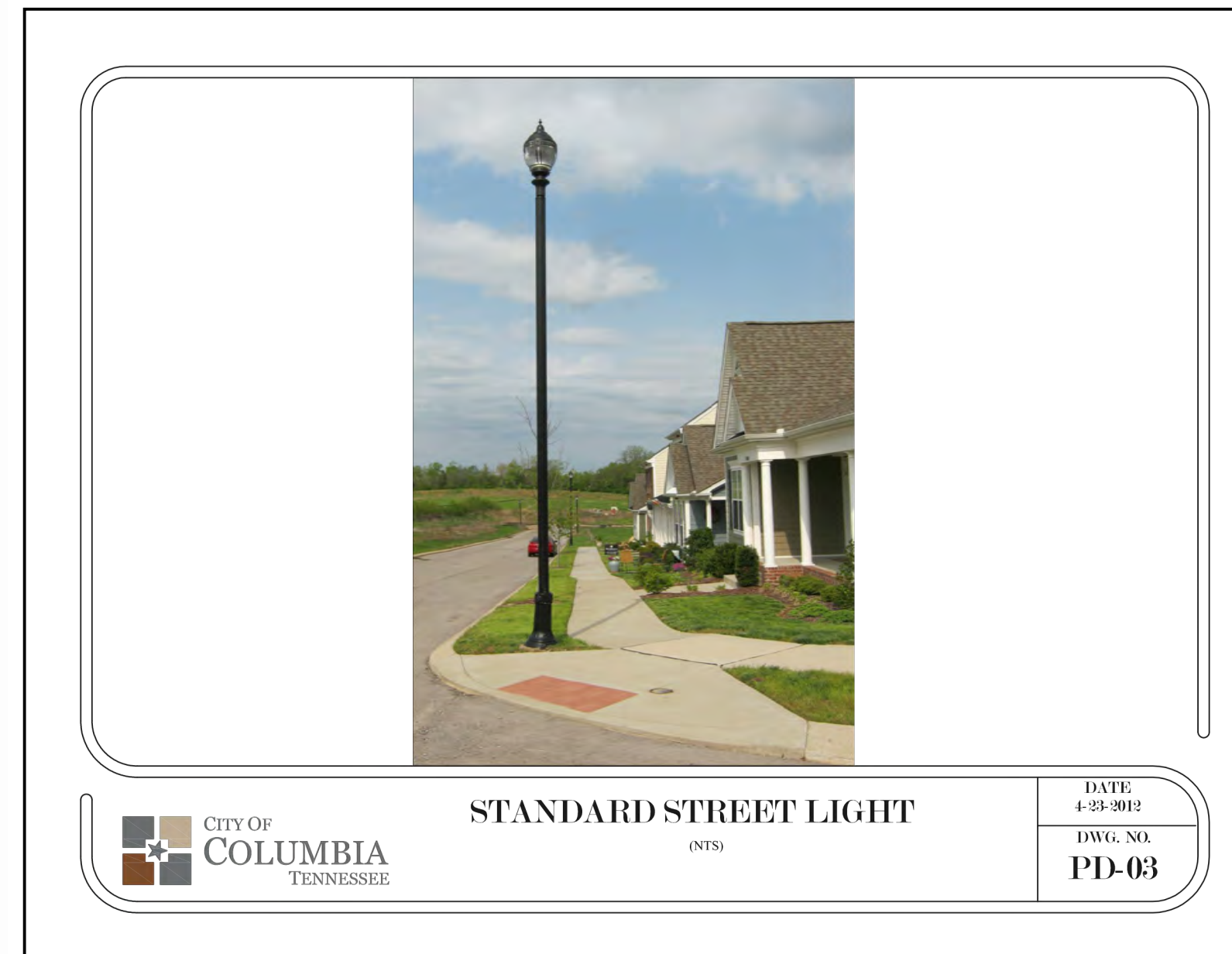
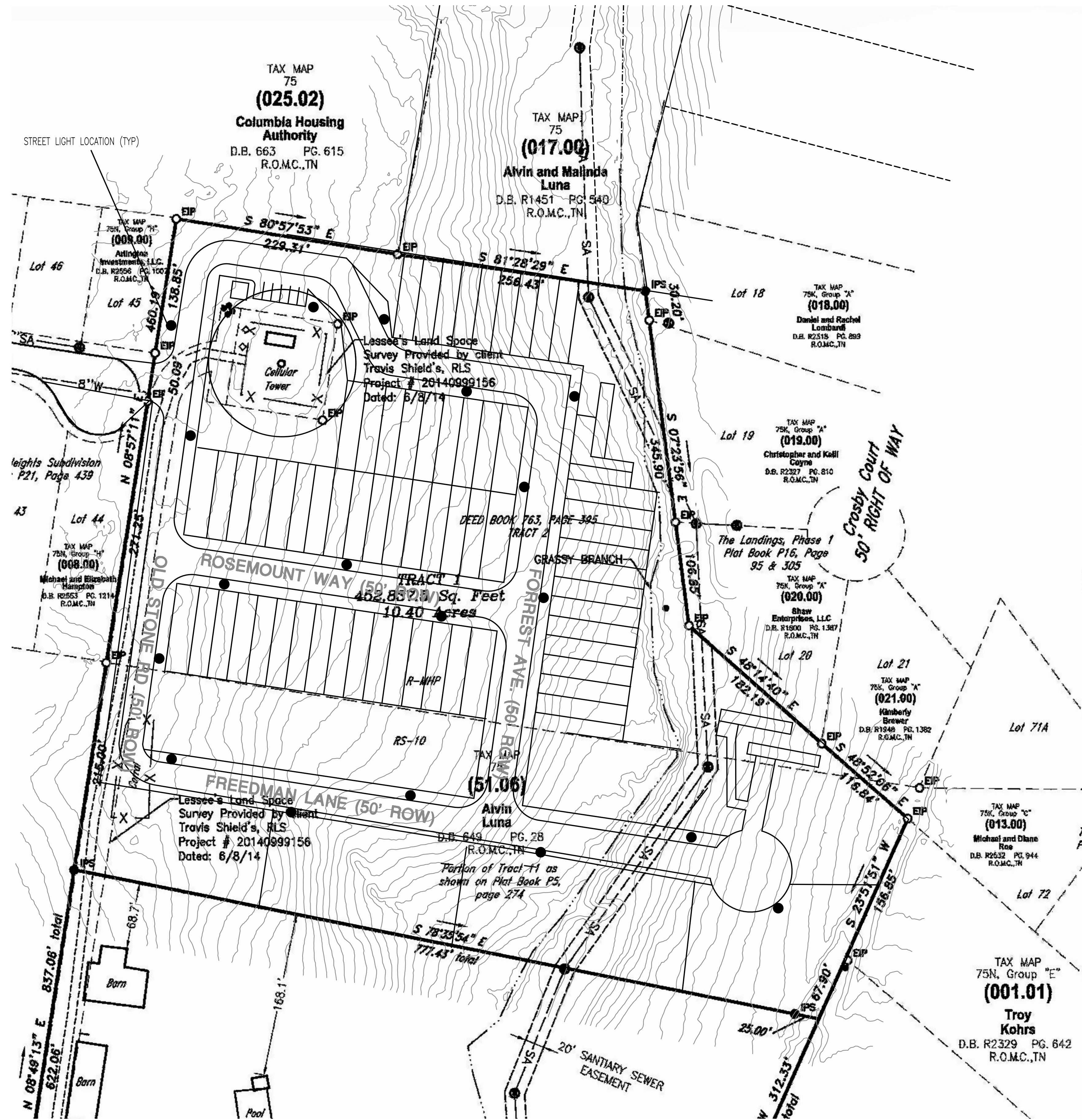
STORMWATER MAINTENANCE NOTE:
HOME OWNERS ASSOCIATION SHALL MAINTAIN STORMWATER FACILITIES AS PER REQUIRED BY TDEC AND THE CITY OF COLUMBIA AS NOTED IN THE RECORDED LONG TERM MAINTENANCE PLAN.



LEGACY AT HIGHLAND ESTATES
WILLIS WAY
MAURY COUNTY, COLUMBIA TENNESSEE
STORMWATER PLAN FINAL

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	2021-12
WK. ORDER	001
SHEET NO.	C5



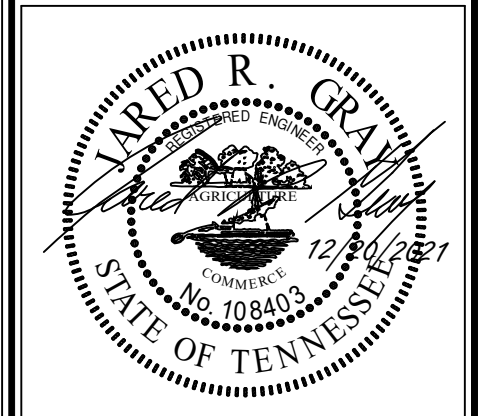
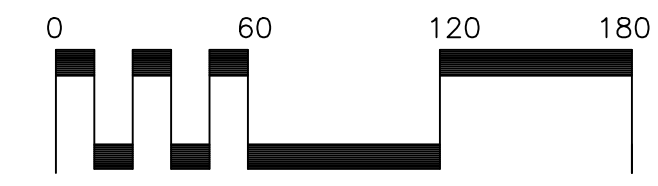


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0.0	0.1	0.1	0.1	0.1	0.2	0.3	0.5	0.5	0.4	0.2	0.1
0.0	0.0	0.1	0.1	0.1	0.3	0.5	0.7	1.1	0.8	0.3	0.2
0.0	0.0	0.0	0.1	0.1	0.3	0.6	1.2	1.7	0.7	0.3	0.2
0.0	0.0	0.0	0.1	0.1	0.2	0.4	0.7	0.8	0.5	0.3	0.1
0.0	0.0	0.0	0.1	0.1	0.3	0.3	0.4	0.3	0.2	0.1	0.1
0.0	0.0	0.0	0.0	0.1	0.1	0.1	0.2	0.2	0.1	0.1	0.1
0.0	0.0	0.0	0.0	0.0	0.1	0.1	0.1	0.1	0.1	0.1	0.0
0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

APPROXIMATE FOOTCANDLE PER FIXTURE



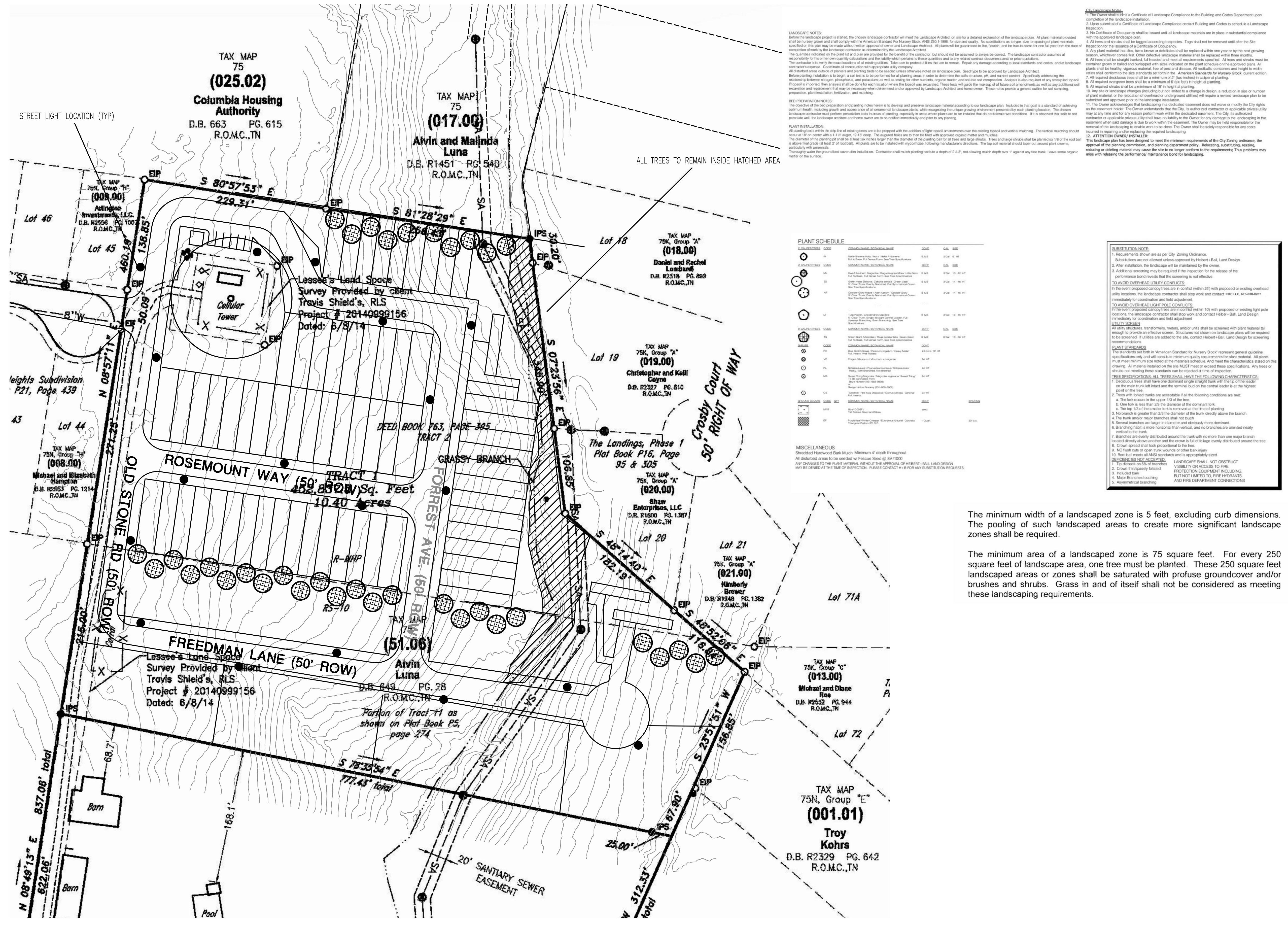
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LEGACY AT HIGHLAND ESTATES
WILLIS WAY
MAURY COUNTY, COLUMBIA TENNESSEE

REVISIONS

DESIGNED BY: J. GRAY
DRAWN BY: J. GRAY
APPROVED BY: J. GRAY
SCALE: As Shown
DATE: DECEMBER 20, 2021
JOB NO. WK. ORDER
2021-12 001



FENCING NOTE: ENTIRE BOUNDARY OF R-MHP SHALL BE SURROUNDED BY A OPAQUE 6' TALL MINIMUM FENCE. FENCE IS TO BE MAINTAINED BY HOA. ORNAMENTAL SHRUBS SHALL BE PLANTED IN BETWEEN THE UNITS AS REQUIRED BY CITY REGULATIONS.

The minimum width of a landscaped zone is 5 feet, excluding curb dimensions. The pooling of such landscaped areas to create more significant landscape zones shall be required.

The minimum area of a landscaped zone is 75 square feet. For every 250 square feet of landscape area, one tree must be planted. These 250 square feet landscaped areas or zones shall be saturated with profuse groundcover and/or bushes and shrubs. Grass in and of itself shall not be considered as meeting these landscaping requirements.

LANDSCAPE NOTES:
 Before the landscape project is started, the chosen landscape contractor will meet the Landscape Architect on site for a detailed explanation of the landscape plan. All plant material provided shall be grown and graded to meet the American Standard for Nursery Stock, ANSI Z60.1-1986, for size and quality. The specifications for tree, shrub, or spacing of plant material specified on the plan may be made without approval of owner and Landscape Architect. All plants will be guaranteed to be, furnish, and be true to name for one full year from the date of completion of the landscape project as determined by the Landscape Architect.
 The quantities indicated on the plan for and plant are provided for the benefit of the contractor, but should not be assumed to always be correct. The landscape contractor assumes all responsibility for the proper quantity and quality of the plants and shrubs to be installed, and for the quality of the work. The contractor shall be responsible for any damage to existing plants and shrubs, and for the cost of any replacement. The contractor is to verify the exact location of all existing utilities. Take care to protect utilities that are to remain. Repair any damage according to local standards and codes, and at landscape contractor's expense. Coordinate all construction with appropriate utility companies.
 All installed areas outside of patios and parking shall be seeded unless otherwise noted on landscape plan. Seed type to be approved by Landscape Architect.
 Before planting vegetation is to begin, a soil test is to be performed for all planting areas in order to determine the soil structure, pH, and nutrient content. Specifically addressing the relationship between nitrogen, phosphorus, and potassium, as well as testing for other nutrients, organic matter, and soluble salt composition. Analysis is also required of any stratified topsoil if topsoil is required. Test analysis shall be done for each location where the topsoil is required. These tests will guide the makeup, shall be used to amend as well as any additional soil excavation and replacement that may be necessary when determined and approved by Landscape Architect and forensic center. These notes provide a general outline for soil sampling, preservation, and remediation, fertilization, and mulching.

BED PREPARATION NOTES:
 The objective of the bed preparation and planting notes herein is to develop and prepare landscape material according to the landscape plan. Included in that goal is a standard of achieving optimum health, including growth and appearance of all ornamental landscape plants, while ensuring the unique growing environment presented by each planting location. The chosen landscape contractor must perform preparation in areas of planting, mulching in areas where plants are to be installed that do not require wet conditions. It is observed that soils to be prepared will be the landscape architect and foreman cover as to be notified immediately and prior to any planting.

PLANT INSTALLATION:
 All planting beds within the site of existing trees are to be prepared with the addition of light topsoil amendments over the existing topsoil and vertical mulching. The vertical mulching should occur at 18" on center with a 1:1:1 slope. The amended holes are to be filled with approved organic matter and mulch.
 The diameter of the planting hole shall be at least six inches larger than the diameter of the planting ball for all trees and large shrubs. Trees and large shrubs shall be planted to 18" of the root ball above top grade or level of root ball. All plants are to be installed with mycorrhizal, following manufacturer's directions. The top material should taper out around plant corners, including and containing.
 Thoroughly water the ground bed cover after installation. Contractor shall maintain planting beds to a depth of 2" to 3" not allowing much depth over 1" against any tree trunk. Leave some organic matter on the surface.

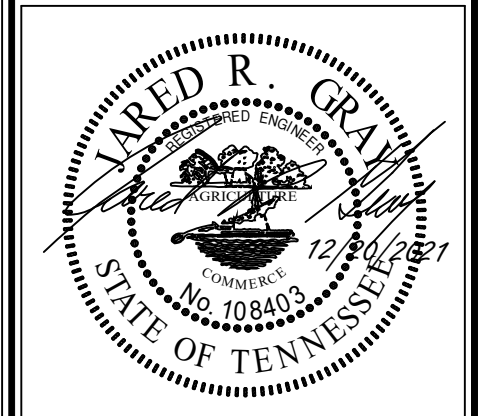
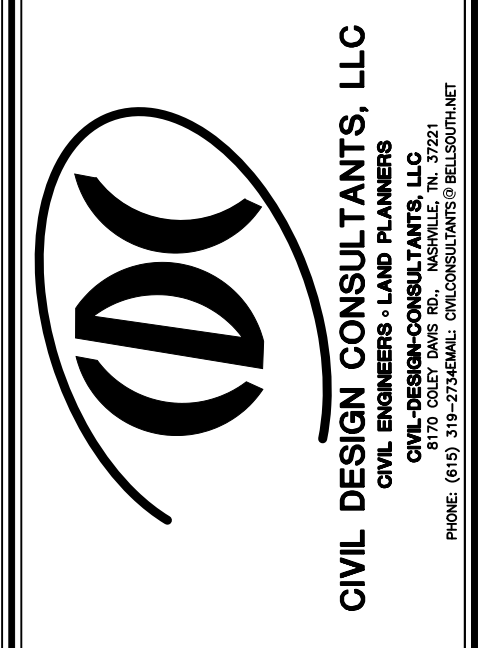
PLANT SCHEDULE

PLANT	QUANTITY	DATE	PLANT	QUANTITY	DATE
1. Tree	10	02/22	2. Tree	10	02/22
3. Tree	10	02/22	4. Tree	10	02/22
5. Tree	10	02/22	6. Tree	10	02/22
7. Tree	10	02/22	8. Tree	10	02/22
9. Tree	10	02/22	10. Tree	10	02/22
11. Tree	10	02/22	12. Tree	10	02/22
13. Tree	10	02/22	14. Tree	10	02/22
15. Tree	10	02/22	16. Tree	10	02/22
17. Tree	10	02/22	18. Tree	10	02/22
19. Tree	10	02/22	20. Tree	10	02/22
21. Tree	10	02/22	22. Tree	10	02/22
23. Tree	10	02/22	24. Tree	10	02/22
25. Tree	10	02/22	26. Tree	10	02/22
27. Tree	10	02/22	28. Tree	10	02/22
29. Tree	10	02/22	30. Tree	10	02/22
31. Tree	10	02/22	32. Tree	10	02/22
33. Tree	10	02/22	34. Tree	10	02/22
35. Tree	10	02/22	36. Tree	10	02/22
37. Tree	10	02/22	38. Tree	10	02/22
39. Tree	10	02/22	40. Tree	10	02/22
41. Tree	10	02/22	42. Tree	10	02/22
43. Tree	10	02/22	44. Tree	10	02/22
45. Tree	10	02/22	46. Tree	10	02/22
47. Tree	10	02/22	48. Tree	10	02/22
49. Tree	10	02/22	50. Tree	10	02/22
51. Tree	10	02/22	52. Tree	10	02/22
53. Tree	10	02/22	54. Tree	10	02/22
55. Tree	10	02/22	56. Tree	10	02/22
57. Tree	10	02/22	58. Tree	10	02/22
59. Tree	10	02/22	60. Tree	10	02/22
61. Tree	10	02/22	62. Tree	10	02/22
63. Tree	10	02/22	64. Tree	10	02/22
65. Tree	10	02/22	66. Tree	10	02/22
67. Tree	10	02/22	68. Tree	10	02/22
69. Tree	10	02/22	70. Tree	10	02/22
71. Tree	10	02/22	72. Tree	10	02/22
73. Tree	10	02/22	74. Tree	10	02/22
75. Tree	10	02/22	76. Tree	10	02/22
77. Tree	10	02/22	78. Tree	10	02/22
79. Tree	10	02/22	80. Tree	10	02/22
81. Tree	10	02/22	82. Tree	10	02/22
83. Tree	10	02/22	84. Tree	10	02/22
85. Tree	10	02/22	86. Tree	10	02/22
87. Tree	10	02/22	88. Tree	10	02/22
89. Tree	10	02/22	90. Tree	10	02/22
91. Tree	10	02/22	92. Tree	10	02/22
93. Tree	10	02/22	94. Tree	10	02/22
95. Tree	10	02/22	96. Tree	10	02/22
97. Tree	10	02/22	98. Tree	10	02/22
99. Tree	10	02/22	100. Tree	10	02/22

SUBSTITUTION NOTE:
 1. Requirements allow as per City Zoning Ordinance.
 2. Substitutions are not unless approved by Hebert-Hall, Land Design.
 3. After installation, the landscape will be maintained by the owner.
 4. Additional screening may be required if the vegetation for the release of the performance bond is not effective.
 5. TO AVOID OVERHEAD UTILITY CONFLICTS:
 a. In the event proposed canopy trees are in conflict with existing overhead utility locations, the landscape contractor shall stop work and contact Hebert-Hall, Land Design for coordination and field adjustment.
 6. TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
 a. In the event proposed canopy trees are in conflict with existing light pole locations, the landscape contractor shall stop work and contact Hebert-Hall, Land Design for coordination and field adjustment.
 7. ALL UTILITIES:
 a. All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures shall be screened with plants tall enough to be screened. If utilities are added to the site, contact Hebert-Hall, Land Design for screening recommendations.
PLANT STANDARDS:
 The standards set forth in American Standard for Nursery Stock represent general guidelines and are not intended to constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.
TREE SPECIFICATIONS ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 1. Deciduous trees shall have one dominant single straight trunk with the top of the leader on the main trunk left intact and the terminal bud on the central leader at the highest point on the tree.
 2. Trees with forked trunks are acceptable if all the following conditions are met:
 a. The fork occurs in the upper 1/3 of the tree.
 b. The fork is less than 2/3 the diameter of the smallest fork.
 c. The top 1/3 of the smaller fork is removed at the time of planting.
 3. No branches to greater than 2/3 the diameter of the trunk directly above the branch.
 4. The trunk and/or major branches shall not touch.
 5. Branches are larger in diameter and obviously more dominant.
 6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
 7. Branches are evenly distributed around the trunk with no more than one major branch directly above another and the crown is full of foliage evenly distributed around the tree.
 8. Crown spread shall look proportional to the tree.
 9. No trunk or major branch wounds or other trunk injury.
 10. Root ball meets all ANSI standards and is appropriately sized.
SPRINGING AND PLANTING:
 LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
 1. Crown Proportionally Shaded
 2. Included tank
 3. Major Branches toppling
 4. Asymmetrical branching

MISCELLANEOUS:
 Shaded Hardwood Bark Mulch Minimum 4" depth throughout.
 All disturbed areas to be seeded w/ Fescue Seed @ 1# 1000.
 ANY CHANGES TO THE PLANT MATERIAL WITHOUT THE APPROVAL OF HERBERT-HALL LAND DESIGN MAY BE CONSIDERED AT THE TIME OF INSPECTION. PLEASE CONTACT THE ARCHITECT FOR ANY SUBSTITUTION REQUESTS.

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LEGACY AT HIGHLAND ESTATES

WILLIS WAY
 MAURY COUNTY, COLUMBIA TENNESSEE

SITE LANDSCAPE ARCHITECTURE PLAN

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	2021-12
WK. ORDER	001
SHEET NO.	L1



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 CIVIL ENGINEERS - LAND PLANNERS
 CIVIL DESIGN CONSULTANTS, LLC
 1000 W. MAIN ST., SUITE 200
 COLUMBIA, TENNESSEE 38401
 PHONE: (615) 339-2750 FAX: (615) 339-2751

LEGACY AT HIGHLAND ESTATES

WILLIS WAY
 MAURY COUNTY, COLUMBIA TENNESSEE

ARCHITECTURAL REPRESENTATIVE ELEVATION RMHP HOME

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	WK. ORDER
2021-12	001
SHEET NO.	
L1	

Basin Model

Hydrology Studio v 1.0.0.0

Project Name:

12-20-2021



Hydrograph by Return Period

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Outflow (cfs)							
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
1	Rational	RATIONAL PRE DEV.		10.72		14.57	16.78	19.34	21.54	24.22
2	Rational	RATIONAL POST		23.48		31.90	36.31	41.63	46.44	51.92
3	Pond Route	ROUTING		10.69		12.58	13.36	14.26	14.99	15.66

Hydrograph 2-yr Summary

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	RATIONAL PRE DEV.	10.72	0.40	15,439	---		
2	Rational	RATIONAL POST	23.48	0.20	16,903	---		
3	Pond Route	ROUTING	10.69	0.30	16,901	2	645.02	7,974

Hydrograph Report

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

ROUTING

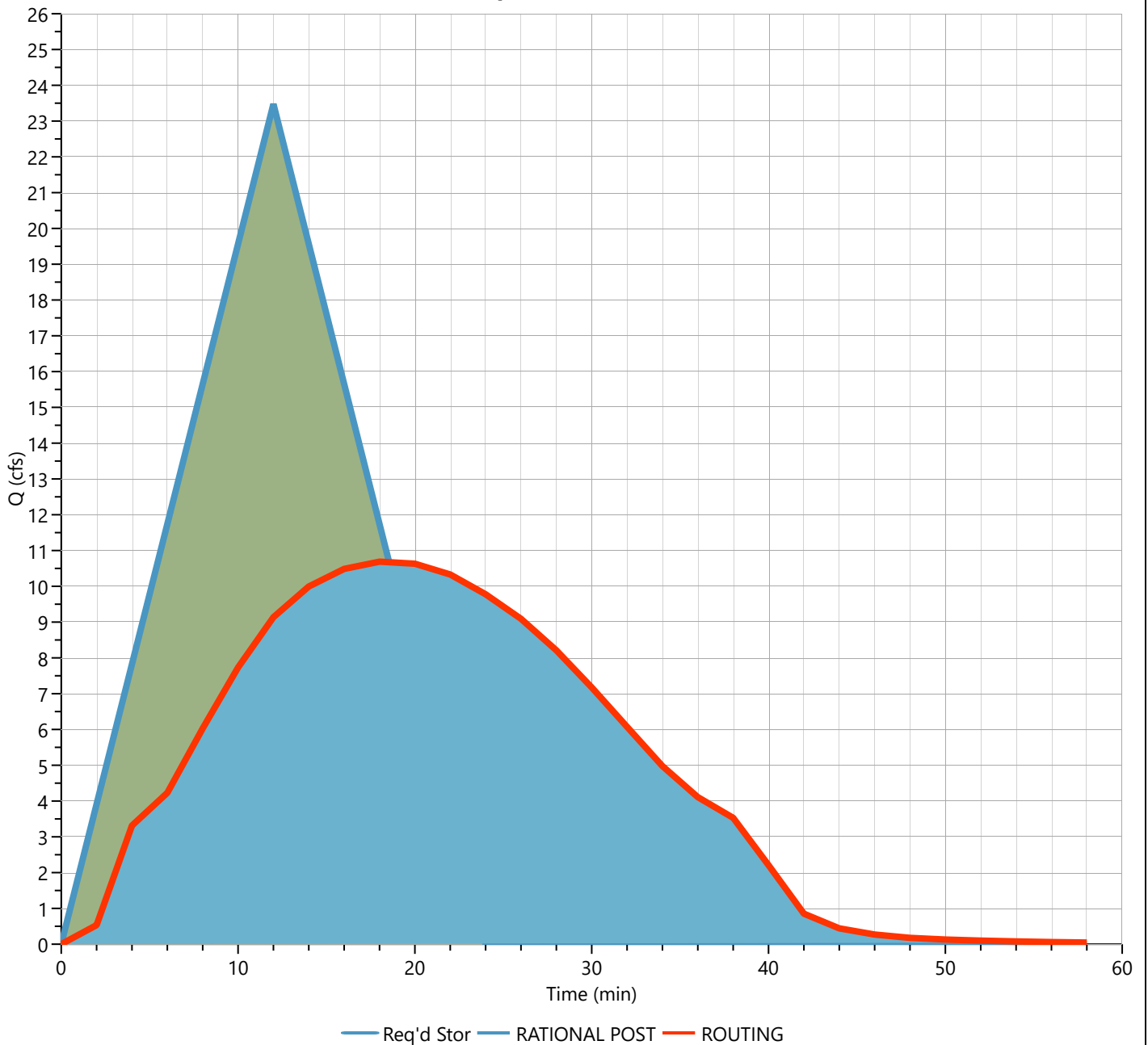
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 10.69 cfs
Storm Frequency	= 2-yr	Time to Peak	= 0.30 hrs
Time Interval	= 2 min	Hydrograph Volume	= 16,901 cuft
Inflow Hydrograph	= 2 - RATIONAL POST	Max. Elevation	= 645.02 ft
Pond Name	= DETENTION POND ONE	Max. Storage	= 7,974 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 9 min

Qp = 10.69 cfs



Pond Report

Project Name:

Hydrology Studio v 1.0.0.0

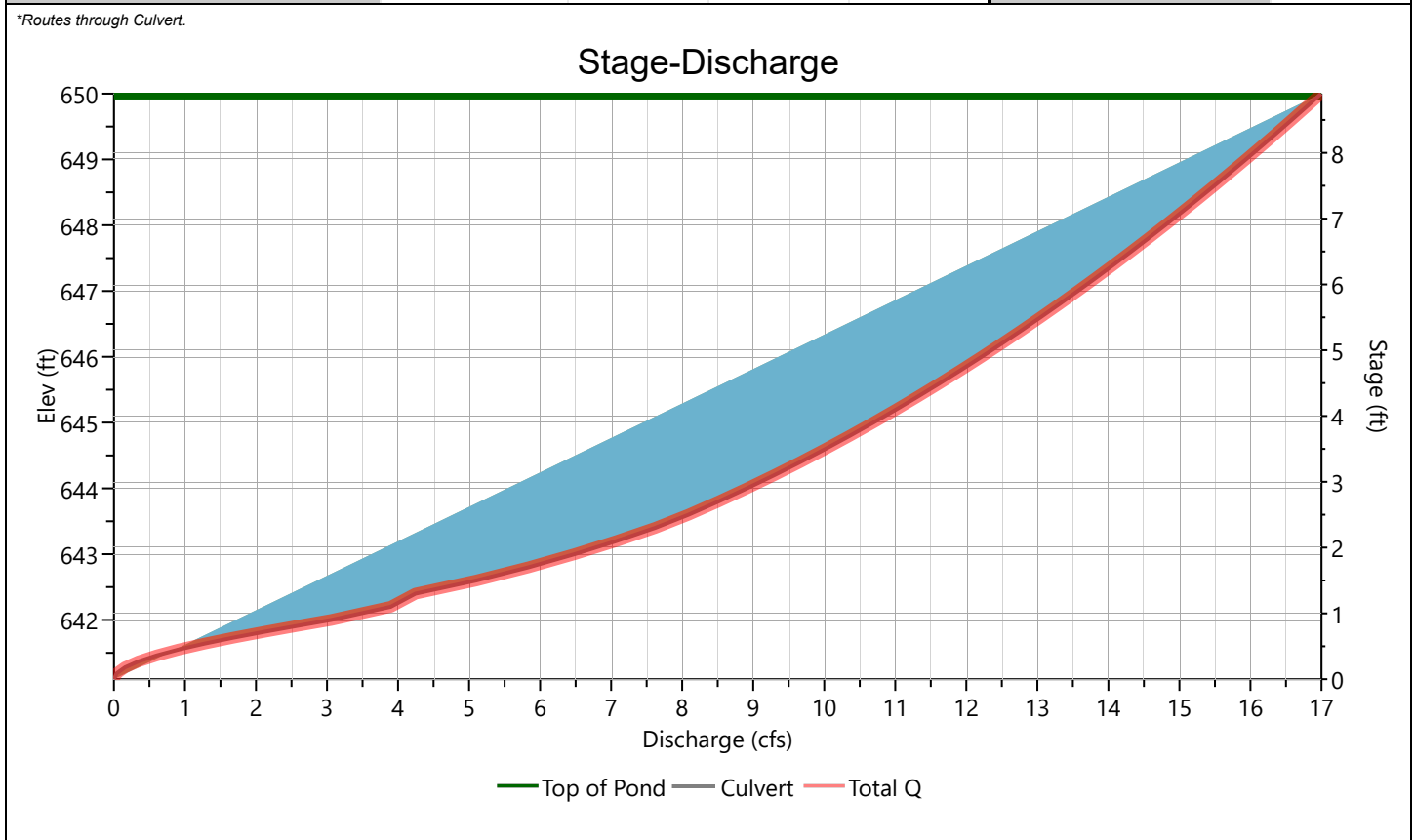
12-20-2021

DETENTION POND ONE

Stage-Discharge

Culvert / Orifices	Culvert	Orifices			Perforated Riser
		1	2	3	
Rise, in	15				Perf. Rise, in
Span, in	15				Perf. Span, in
No. Barrels	1				No. Perforations
Invert Elevation, ft	641.1				Invert Elevation, ft
Orifice Coefficient, Co	.6				Height, ft
Length, ft	40				Orifice Coefficient, Co
Barrel Slope, %	1				
N-Value, n	0.013				
Weirs	Riser*	Weirs			Ancillary
		1	2	3	
Shape / Type					Exfiltration, in/hr
Crest Elevation, ft					Tailwater Elevation, ft
Crest Length, ft					
Angle, deg					
Weir Coefficient, Cw					

*Routes through Culvert.



Pond Report

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

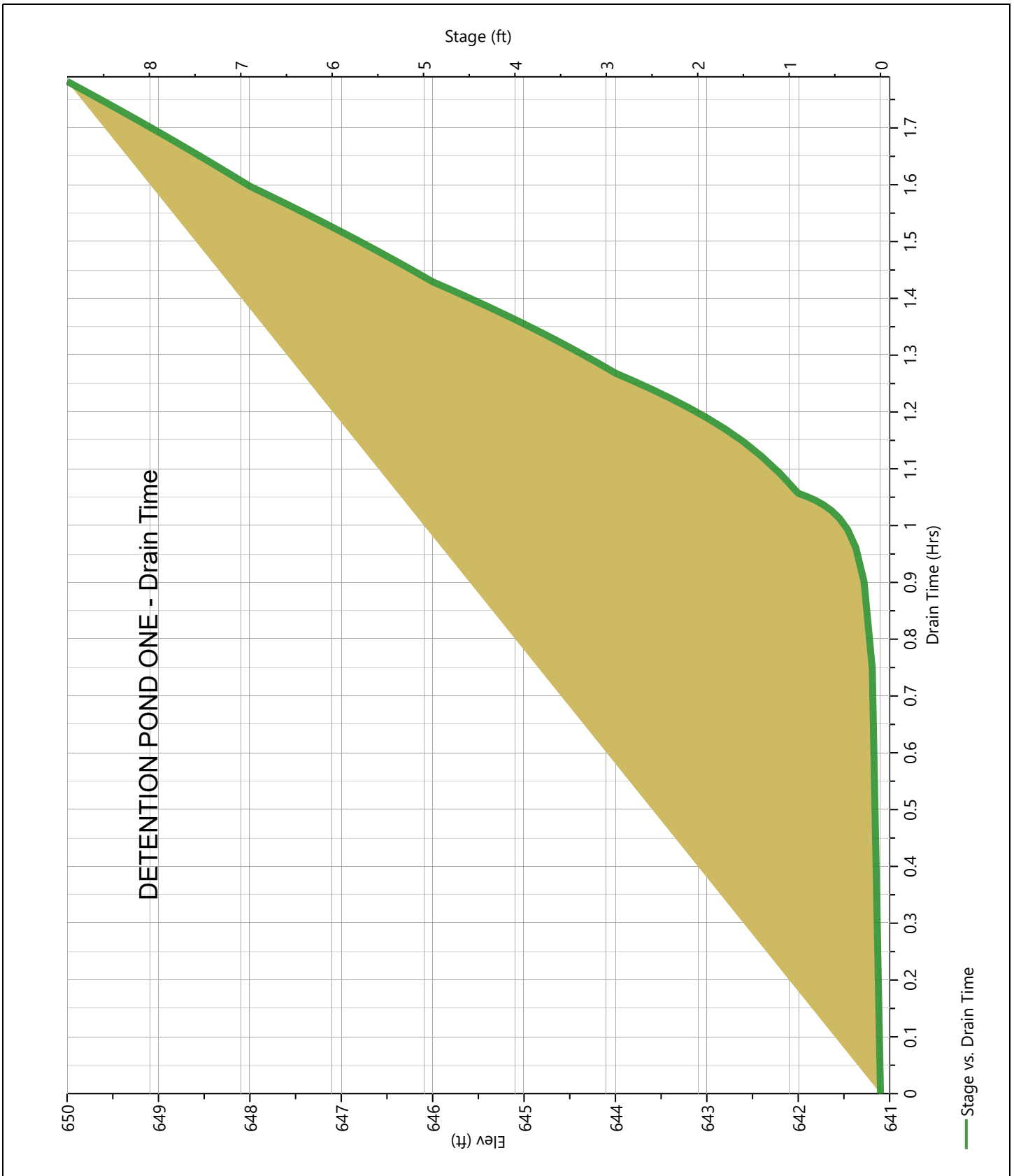
DETENTION POND ONE

Stage-Storage-Discharge Summary

Stage (ft)	Elev. (ft)	Storage (cuft)	Culvert (cfs)	Orifices, cfs			Riser (cfs)	Weirs, cfs			Pf Riser (cfs)	Exfil (cfs)	User (cfs)	Total (cfs)
				1	2	3		1	2	3				
0.00	641.10	0.000	0.00											0.00
0.90	642.00	543	3.058 ic											3.058
2.90	644.00	4,924	8.911 ic											8.911
4.90	646.00	11,039	12.22 ic											12.22
6.90	648.00	19,217	14.80 ic											14.80
8.90	650.00	29,784	17.00 ic											17.00

DETENTION POND ONE

Pond Drawdown



Hydrograph 5-yr Summary

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	RATIONAL PRE DEV.	14.57	0.40	20,985	---		
2	Rational	RATIONAL POST	31.90	0.20	22,968	---		
3	Pond Route	ROUTING	12.58	0.33	22,967	2	646.29	12,102

Hydrograph Report

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

ROUTING

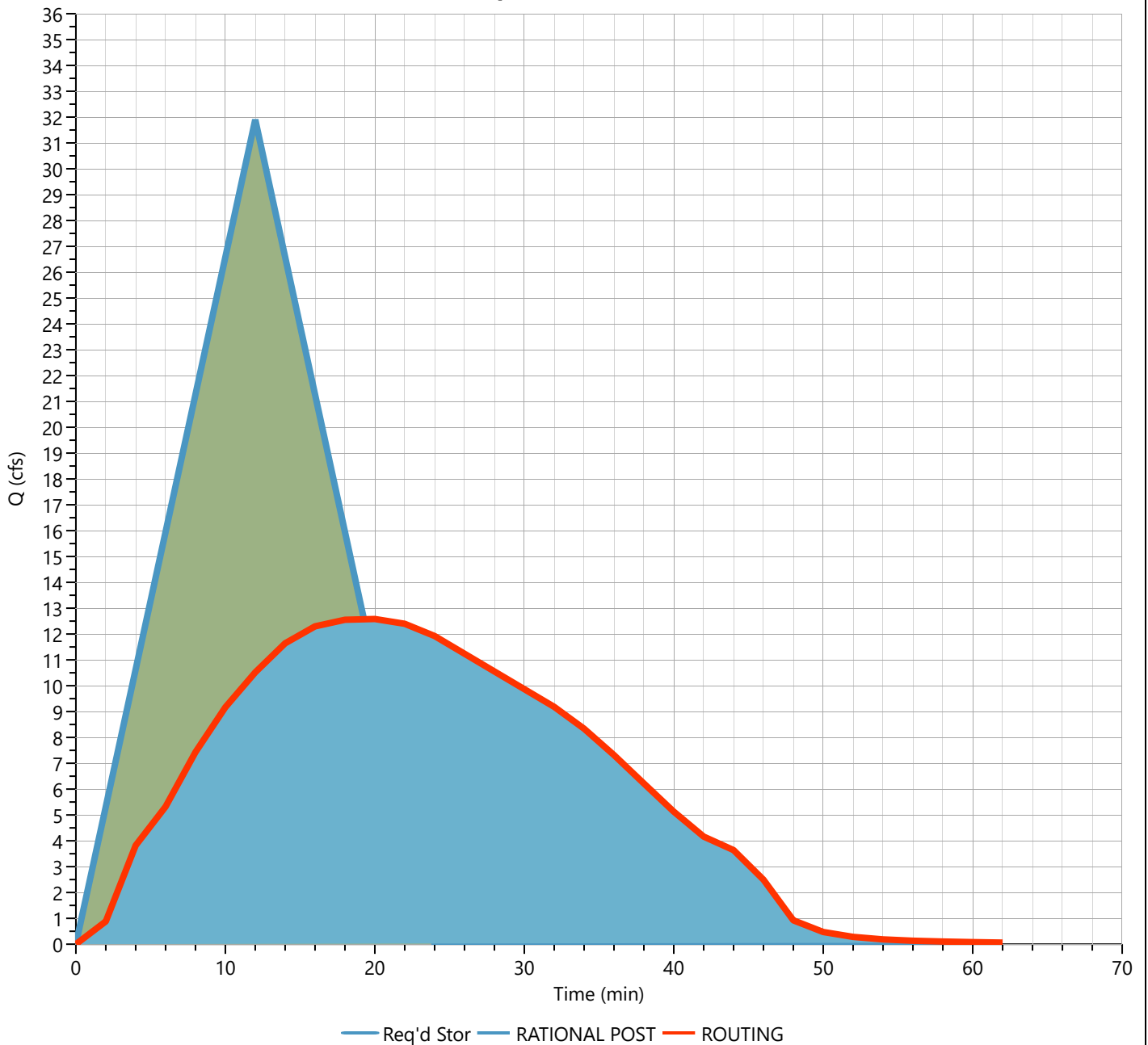
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 12.58 cfs
Storm Frequency	= 5-yr	Time to Peak	= 0.33 hrs
Time Interval	= 2 min	Hydrograph Volume	= 22,967 cuft
Inflow Hydrograph	= 2 - RATIONAL POST	Max. Elevation	= 646.29 ft
Pond Name	= DETENTION POND ONE	Max. Storage	= 12,102 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 11 min

Qp = 12.58 cfs



Hydrograph 10-yr Summary

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	RATIONAL PRE DEV.	16.78	0.40	24,158	---		
2	Rational	RATIONAL POST	36.31	0.20	26,141	---		
3	Pond Route	ROUTING	13.36	0.33	26,140	2	646.86	14,464

Hydrograph Report

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

ROUTING

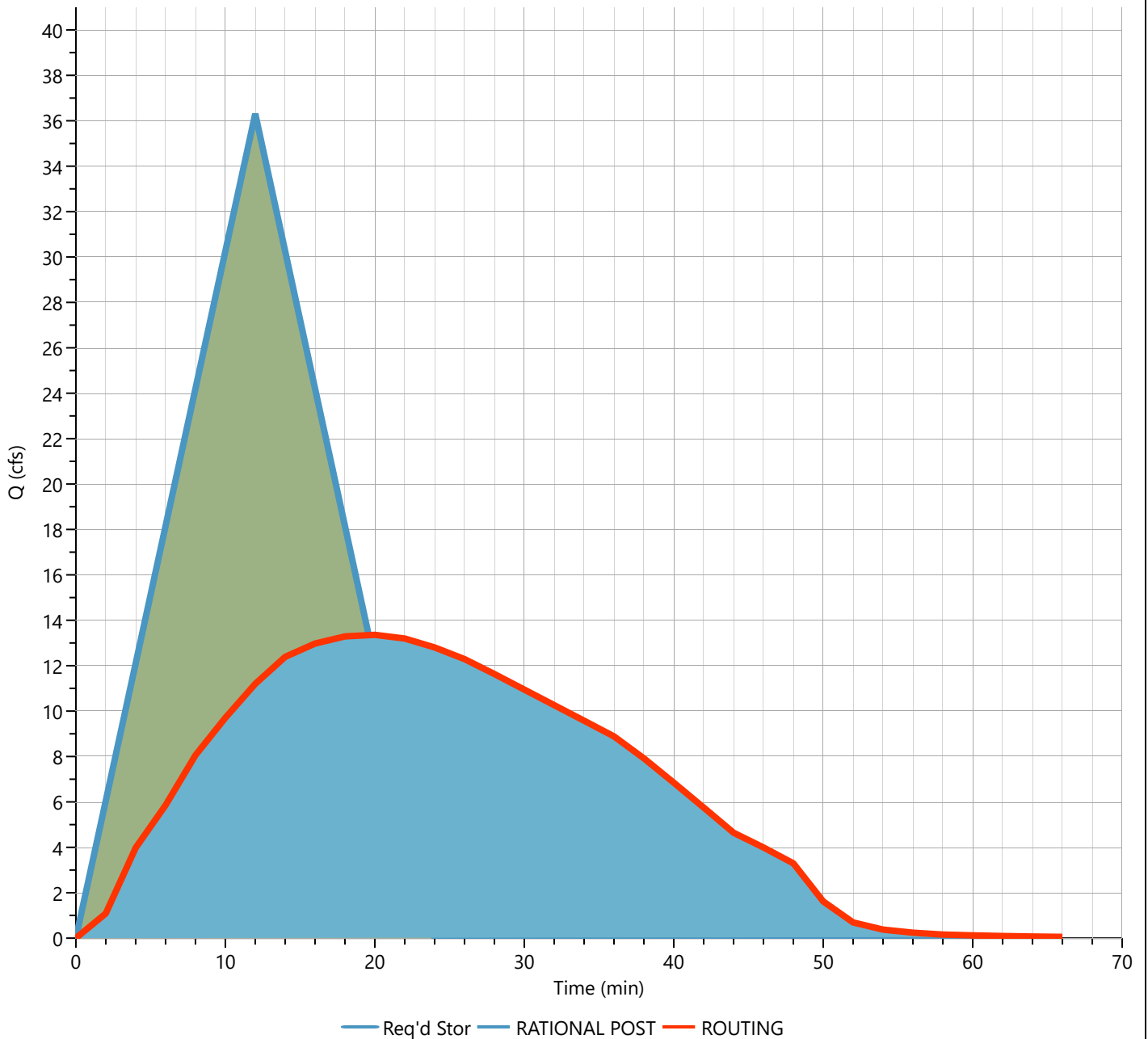
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 13.36 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.33 hrs
Time Interval	= 2 min	Hydrograph Volume	= 26,140 cuft
Inflow Hydrograph	= 2 - RATIONAL POST	Max. Elevation	= 646.86 ft
Pond Name	= DETENTION POND ONE	Max. Storage	= 14,464 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 12 min

Qp = 13.36 cfs



Hydrograph 25-yr Summary

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	RATIONAL PRE DEV.	19.34	0.40	27,845	---		
2	Rational	RATIONAL POST	41.63	0.20	29,973	---		
3	Pond Route	ROUTING	14.26	0.33	29,972	2	647.56	17,380

Hydrograph Report

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

ROUTING

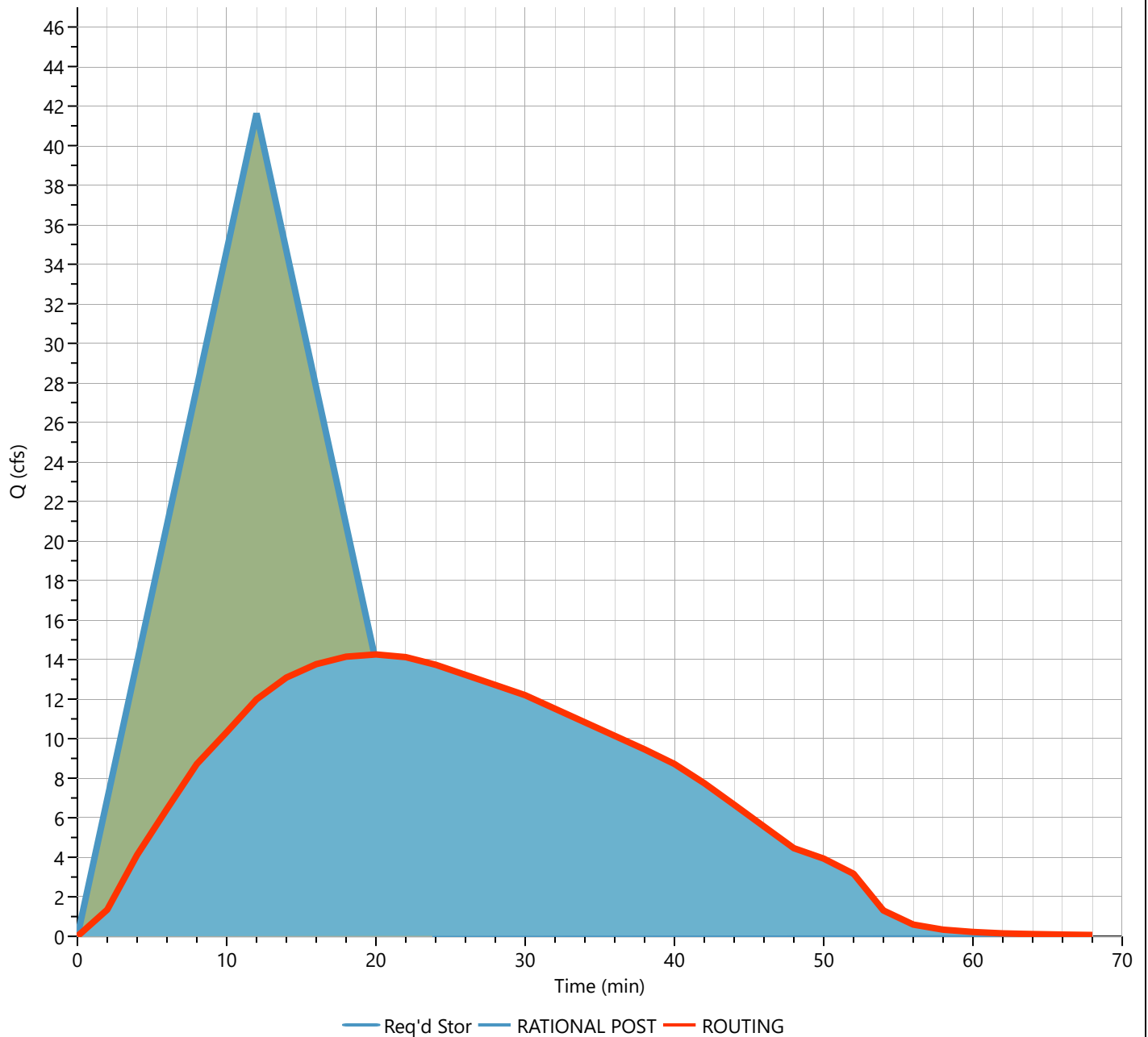
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 14.26 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.33 hrs
Time Interval	= 2 min	Hydrograph Volume	= 29,972 cuft
Inflow Hydrograph	= 2 - RATIONAL POST	Max. Elevation	= 647.56 ft
Pond Name	= DETENTION POND ONE	Max. Storage	= 17,380 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 14 min

Qp = 14.26 cfs



Hydrograph 50-yr Summary

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	RATIONAL PRE DEV.	21.54	0.40	31,017	---		
2	Rational	RATIONAL POST	46.44	0.20	33,436	---		
3	Pond Route	ROUTING	14.99	0.33	33,435	2	648.17	20,071

Hydrograph Report

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

ROUTING

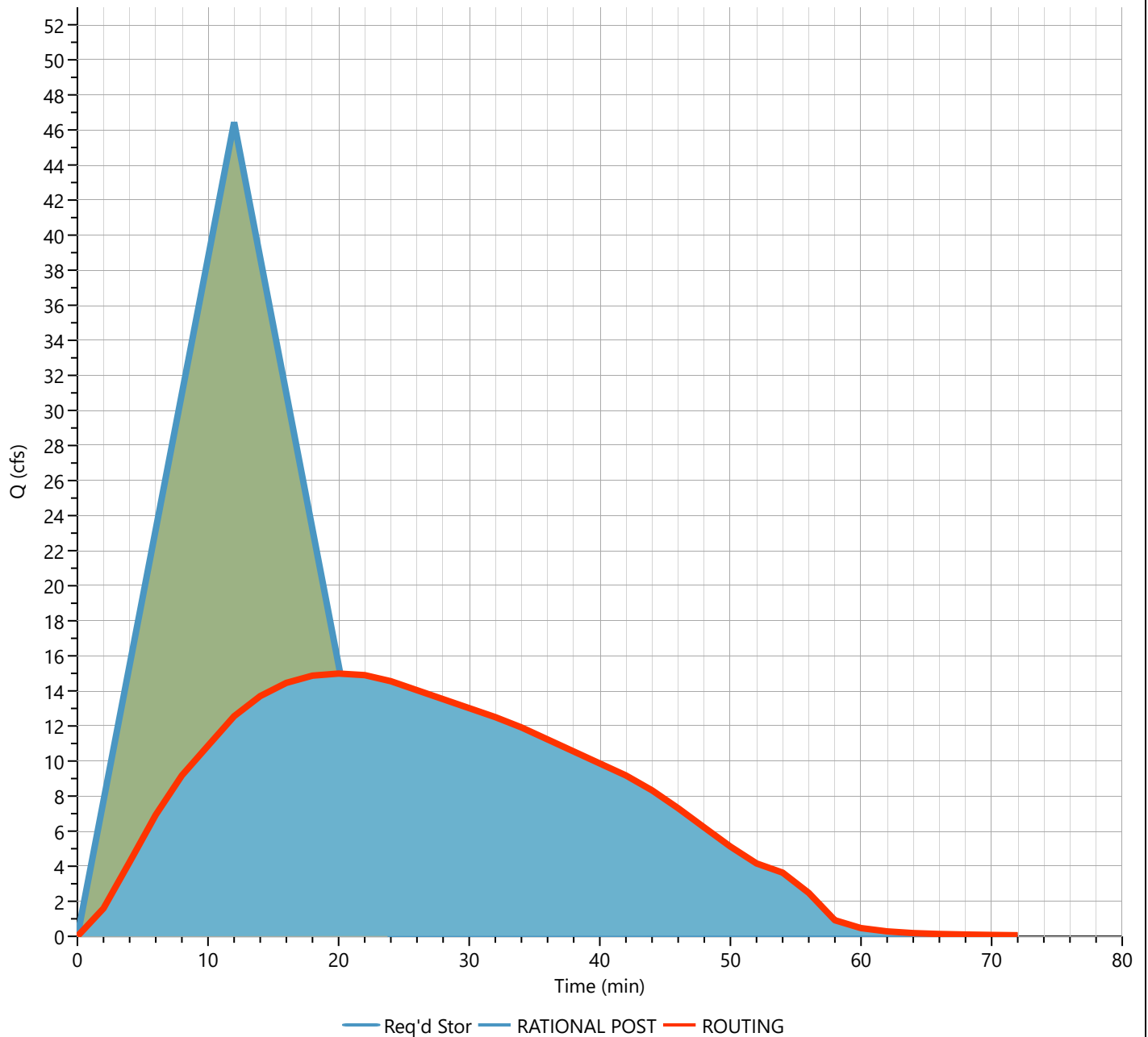
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 14.99 cfs
Storm Frequency	= 50-yr	Time to Peak	= 0.33 hrs
Time Interval	= 2 min	Hydrograph Volume	= 33,435 cuft
Inflow Hydrograph	= 2 - RATIONAL POST	Max. Elevation	= 648.17 ft
Pond Name	= DETENTION POND ONE	Max. Storage	= 20,071 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 15 min

Qp = 14.99 cfs



Hydrograph 100-yr Summary

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

Hyd. No.	Hydrograph Type	Hydrograph Name	Peak Flow (cfs)	Time to Peak (hrs)	Hydrograph Volume (cuft)	Inflow Hyd(s)	Maximum Elevation (ft)	Maximum Storage (cuft)
1	Rational	RATIONAL PRE DEV.	24.22	0.40	34,879	---		
2	Rational	RATIONAL POST	51.92	0.20	37,382	---		
3	Pond Route	ROUTING	15.66	0.33	37,381	2	648.77	23,197

Hydrograph Report

Project Name:

Hydrology Studio v 1.0.0.0

12-20-2021

ROUTING

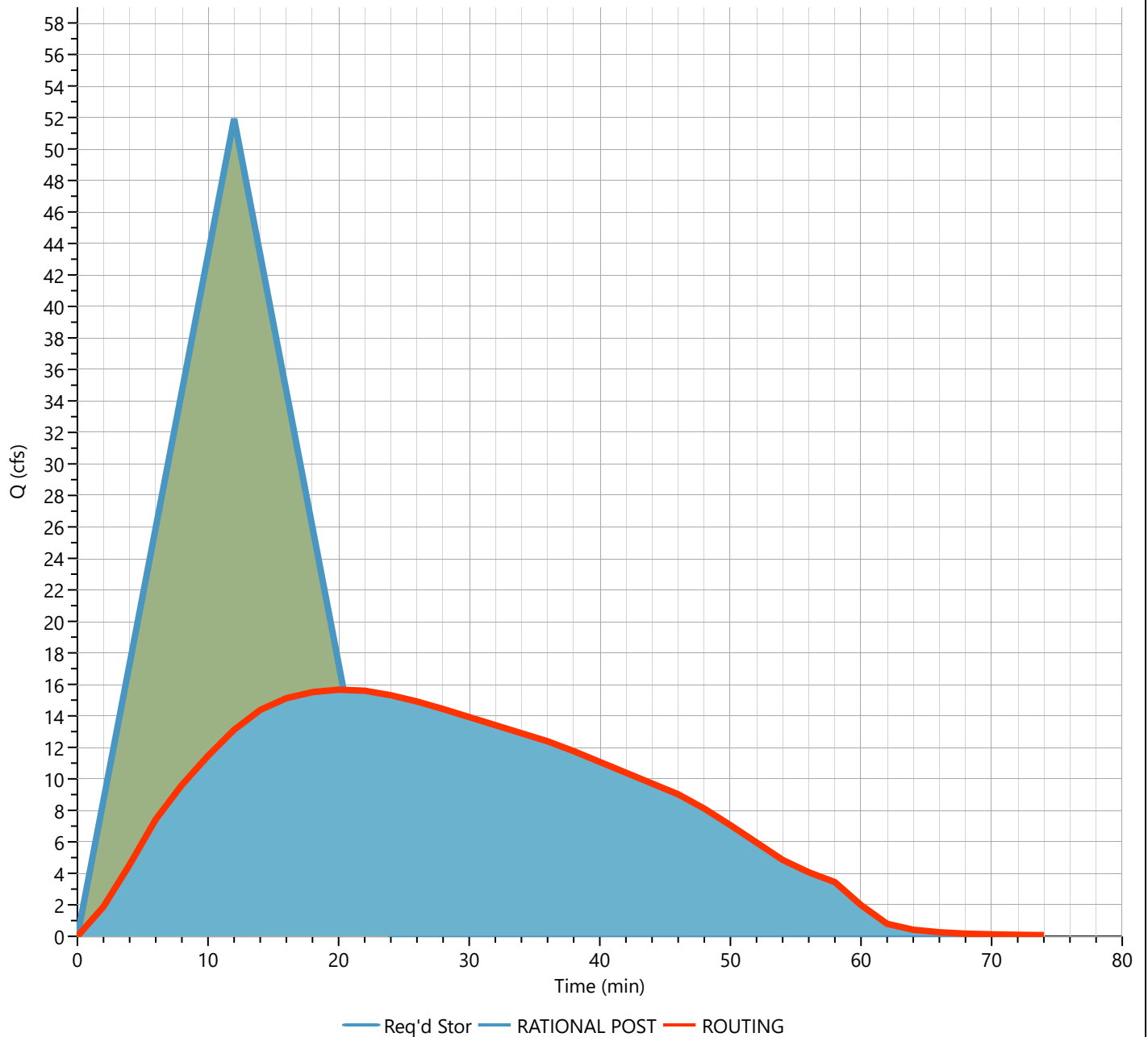
Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 15.66 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.33 hrs
Time Interval	= 2 min	Hydrograph Volume	= 37,381 cuft
Inflow Hydrograph	= 2 - RATIONAL POST	Max. Elevation	= 648.77 ft
Pond Name	= DETENTION POND ONE	Max. Storage	= 23,197 cuft

Pond Routing by Storage Indication Method

Center of mass detention time = 16 min

Qp = 15.66 cfs



IDF Report

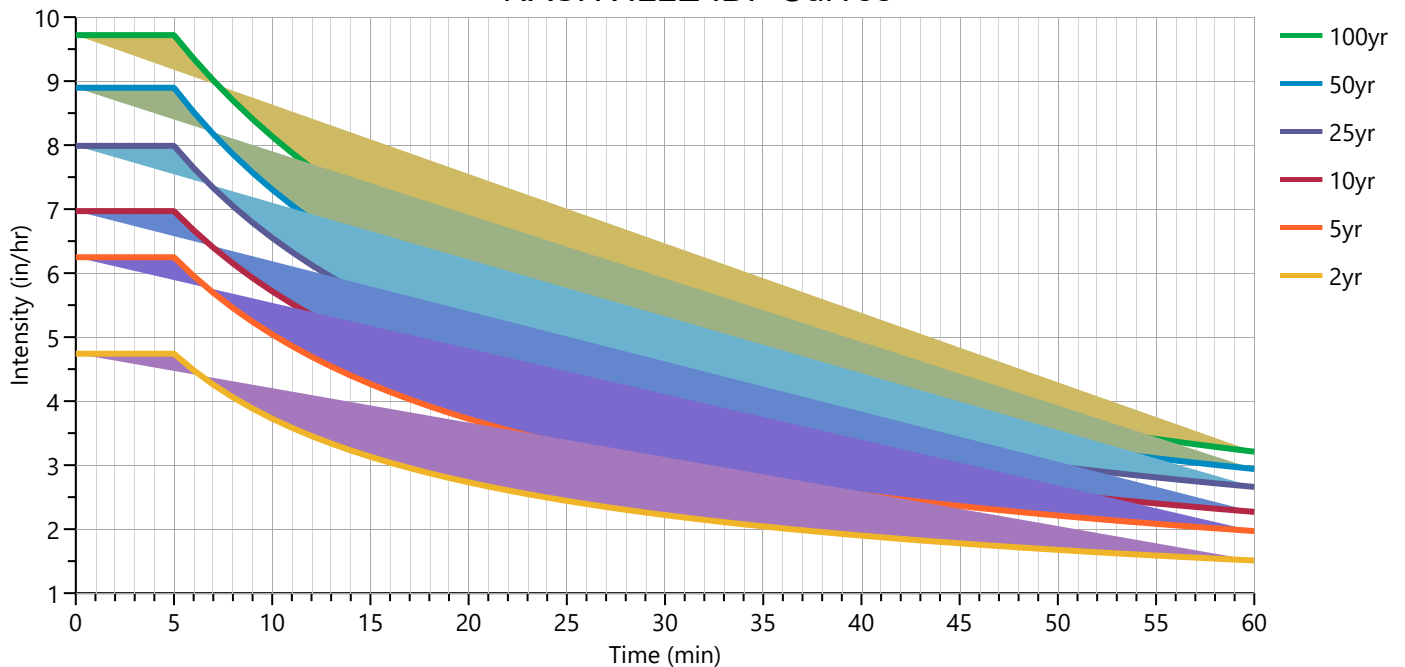
Equation Coefficients	Intensity = B / (Tc + D)^E (in/hr)								
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
B	0.0000	21.3913	0.0000	48.6846	66.7074	65.3872	79.9547	170.7964	
D	0.0000	5.8000	0.0000	10.2000	12.5000	11.5000	12.2000	18.2000	
E	0.0000	0.6332	0.0000	0.7544	0.7892	0.7499	0.7718	0.9117	

Minimum Tc = 5 minutes

Tc (min)	Intensity Values (in/hr)								
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
Cf	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	
5	0	4.74	0	6.25	6.97	7.99	8.90	9.72	
10	0	3.73	0	5.04	5.72	6.55	7.31	8.13	
15	0	3.13	0	4.27	4.88	5.60	6.25	7.01	
20	0	2.73	0	3.72	4.28	4.92	5.48	6.17	
25	0	2.44	0	3.32	3.82	4.40	4.90	5.51	
30	0	2.22	0	3.00	3.46	4.00	4.45	4.99	
35	0	2.04	0	2.75	3.17	3.67	4.08	4.56	
40	0	1.90	0	2.54	2.93	3.40	3.78	4.20	
45	0	1.78	0	2.36	2.73	3.17	3.52	3.90	
50	0	1.68	0	2.21	2.55	2.98	3.30	3.64	
55	0	1.59	0	2.08	2.40	2.81	3.11	3.41	
60	0	1.51	0	1.97	2.27	2.66	2.94	3.21	

Cf = Correction Factor applied to Rational Method runoff coefficient.

NASHVILLE IDF Curves



Precipitation Report

Precipitation filename: NASHVILLE DATA.pcp

Hydrology Studio v 1.0.0.0

12-20-2021

	Active	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
Active			✓		✓	✓	✓	✓	✓
NRCS/SCS Storms	> SCS Dimensionless Storms								
SCS 6hr		1.20	1.50	0	1.86	2.18	2.64	3.01	3.41
Type I, 24-hr		0	0	0	0	0	0	0	0
Type IA, 24-hr		0	0	0	0	0	0	0	0
Type II, 24-hr		1.82	2.28	0	2.85	3.31	3.94	4.43	4.94
Type II FL, 24-hr		0	0	0	0	0	0	0	0
Type III, 24-hr		0	0	0	0	0	0	0	0
Synthetic Storms	> IDF-Based Synthetic Storms								
1-hr		0	1.51	0	1.97	2.27	2.66	2.94	3.21
2-hr		0	2.00	0	2.47	2.82	3.37	3.69	3.82
3-hr		0	2.35	0	2.79	3.15	3.81	4.14	4.12
6-hr		0	3.06	0	3.37	3.74	4.64	4.97	4.58
12-hr		0	3.96	0	4.04	4.39	5.58	5.90	4.98
24-hr	✓	0	5.12	0	4.81	5.12	6.68	6.96	5.35
Huff Distribution	> 1st Quartile (0 to 6 hrs)								
1-hr		0.76	0.98	0	1.33	1.61	2.01	2.34	2.69
2-hr		0.89	1.14	0	1.50	1.80	2.24	2.60	2.99
3-hr		0.98	1.24	0	1.59	1.90	2.33	2.68	3.07
6-hr		1.20	1.50	0	1.86	2.18	2.64	3.01	3.41
Huff Distribution	> 2nd Quartile (>6 to 12 hrs)								
8-hr		0	0	0	0	0	0	0	0
12-hr		0	0	0	0	0	0	0	0
Huff Distribution	> 3rd Quartile (>12 to 24 hrs)								
18-hr		0	0	0	0	0	0	0	0
24-hr		0	0	0	0	0	0	0	0
Custom Storms	> Custom Storm Distributions								
My Custom Storm 1		0	0	0	0	0	0	0	0
My Custom Storm 2		0	0	0	0	0	0	0	0
My Custom Storm 3		0	0	0	0	0	0	0	0
My Custom Storm 4		0	0	0	0	0	0	0	0
My Custom Storm 5		0	0	0	0	0	0	0	0
My Custom Storm 6		0	0	0	0	0	0	0	0
My Custom Storm 7		0	0	0	0	0	0	0	0
My Custom Storm 8		0	0	0	0	0	0	0	0
My Custom Storm 9		0	0	0	0	0	0	0	0
My Custom Storm 10		0	0	0	0	0	0	0	0



ITEM #13

TECHNICAL COMMITTEE COMMENT FORM

January 11, 2022

NAME OR DEPARTMENT: _____

Case Number: 21-0296

Request from Allen O’Leary for Final Plat approval of Armstrong Meadows Section 4 off Hampshire Pike being Tax Map 101 Parcel 12.00.

COMMENTS:

Legend

- Iron Rod Found
- Iron Stake Found
- Iron Pipe Found
- Concrete Monument Existing
- PK Nail Found
- Railroad Spike Found
- Adjoining Property Line
- Subject Property Line
- Easement Line
- Building Setback Line
- Centerline
- Edge of Pavement
- Edge of Gravel
- Fence Line
- Woods / Tree Line
- Bench Mark
- Stake Found
- Fire Hydrant
- Water Meter
- Water Valve
- Water Reducer
- Clean Out
- Sanitary Sewer Manhole
- Storm Sewer Manhole
- Edge of Water
- Ditch / Creek Centerline
- Minor Contour Line
- Index Contour Line
- Gas Line
- Sewer Line
- Water Line
- Sanitary Sewer Line
- Storm Sewer Line
- Overhead Utility Line
- Overhead Cable Line
- Electric Riser
- Telephone Riser
- Telephone Booth
- Gas Meter
- Light Pole
- Power Pole
- Parking Block
- Sanitary Dish
- Water Spigot
- Handicap
- Cable Riser
- Overhead Electric Line
- OHT - Overhead Telephone Line
- UG - Underground Utility Line
- UGC - Underground Cable Line
- UGEL - Underground Electric Line
- UGT - Underground Telephone Line
- FM - Forced Main Line
- Critical Lot
- Evergreen Tree
- Deciduous Tree
- Bush
- Sign

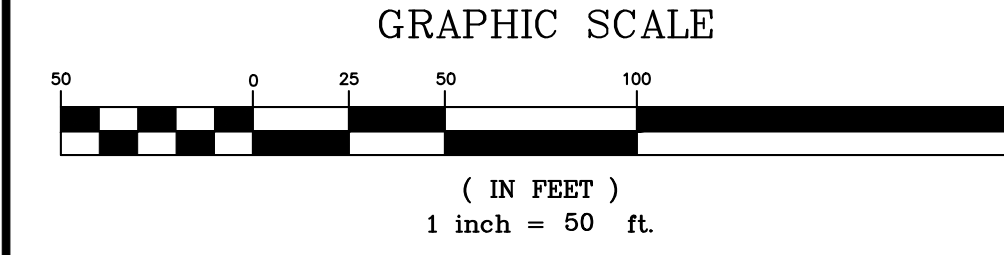
CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD	LENGTH	CHORD BEARING	DELTA ANGLE
C1	525.00	76.38	76.31	71.65	S 61°34'23" W	82°24'05"
C2	525.00	71.70	71.65	69.41	S 69°41'11" W	49°31'
C3	525.00	64.11	64.08	60.52	S 77°05'52" W	6°59'50"
C4	525.00	65.26	65.21	64.09	S 84°09'25" W	7°07'18"
C5	525.00	6.89	6.89	6.89	S 87°15'21" W	1°04'44"
C6	175.00	18.33	18.32	18.32	S 80°01'16" E	6°00'03"
C9	175.00	71.51	71.02	65.18	S 65°18'49" E	23°24'51"
C10	175.00	42.67	42.57	46.38	S 46°38'10" E	13°58'10"
C11	175.00	42.19	42.09	39.43	S 32°43'42" E	13°36'53"
C12	175.00	49.66	49.49	49.49	S 17°41'30" E	16°15'32"
C14	175.00	50.52	50.34	50.34	S 01°17'31" E	16°32'26"
C15	25.00	39.27	35.36	38.01	S 38°01'16" E	89°59'51"
C16	75.00	43.63	43.01	43.01	N 80°18'55" E	33°19'42"
C17	75.00	4.64	4.64	4.64	N 61°52'49" E	33°30'30"
C18	50.00	62.11	58.19	58.19	S 84°18'11" E	71°10'51"
C19	50.00	48.60	46.71	46.71	S 20°52'05" E	55°41'41"
C20	50.00	48.10	46.27	46.27	S 34°32'24" W	55°07'17"
C21	50.00	62.61	58.60	58.60	N 82°01'30" W	71°44'55"
C22	75.00	4.62	4.62	4.62	N 47°55'03" W	33°51'59"
C23	75.00	43.64	43.02	43.02	N 66°21'08" W	33°20'12"
C24	25.00	39.27	35.36	35.36	S 51°58'44" W	90°00'03"
C25	25.00	39.27	35.36	35.36	S 38°01'16" E	90°00'00"
C26	100.00	62.09	61.10	61.10	N 79°11'24" E	35°34'56"
C27	50.00	62.65	58.63	58.63	N 25°30'24" E	71°47'24"
C28	50.00	4.04	4.04	4.04	N 08°04'22" W	47°37'51"
C29	50.00	46.36	44.72	44.72	N 20°48'20" E	53°07'55"
C30	50.00	43.44	42.09	42.09	N 7°15'27" E	49°46'39"
C31	50.00	42.35	41.09	41.09	S 58°35'21" E	48°31'44"
C32	50.00	50.77	48.62	48.62	S 09°14'00" E	56°10'59"
C33	50.00	34.71	34.01	34.01	S 43°44'34" W	39°40'09"
C34	75.00	33.83	33.54	33.54	S 50°42'23" W	25°50'31"
C35	150.00	8.98	8.98	8.98	S 39°30'01" W	32°54'48"
C36	150.00	46.30	46.11	46.11	S 50°03'27" W	17°41'01"
C37	150.00	46.98	46.79	46.79	S 6°52'19" W	17°46'39"
C38	150.00	52.71	52.44	52.44	S 86°54'40" W	20°08'04"

AREA TABLE

LOT	SQ. FT.	ACRES
230	16,045.5	0.37
231	8,770.3	0.20
232	8,307.3	0.19
233	12,139.9	0.28
234	11,186.9	0.26
235	10,800.0	0.25
236	7,800.0	0.18
237	7,800.0	0.18
238	7,475.0	0.17
239	7,475.0	0.17
240	10,800.0	0.25
241	10,197.2	0.23
242	7,475.0	0.17
243	7,475.0	0.17
244	7,475.0	0.17
245	7,475.0	0.17
246	7,475.0	0.17
247	7,475.0	0.17
248	9,215.0	0.21
249	10,197.2	0.23
250	10,218.7	0.23
251	7,475.0	0.17
252	7,475.0	0.17
253	7,475.0	0.17
254	7,475.0	0.17
255	8,025.0	0.18
256	7,475.0	0.17
257	7,475.0	0.17
258	10,473.3	0.24
259	9,766.6	0.22

OPEN SPACE NOTE:
 ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT. ALL OPEN SPACE AREA IS CONSIDERED PUBLIC UTILITY, DRAINAGE, AND ACCESS EASEMENT.



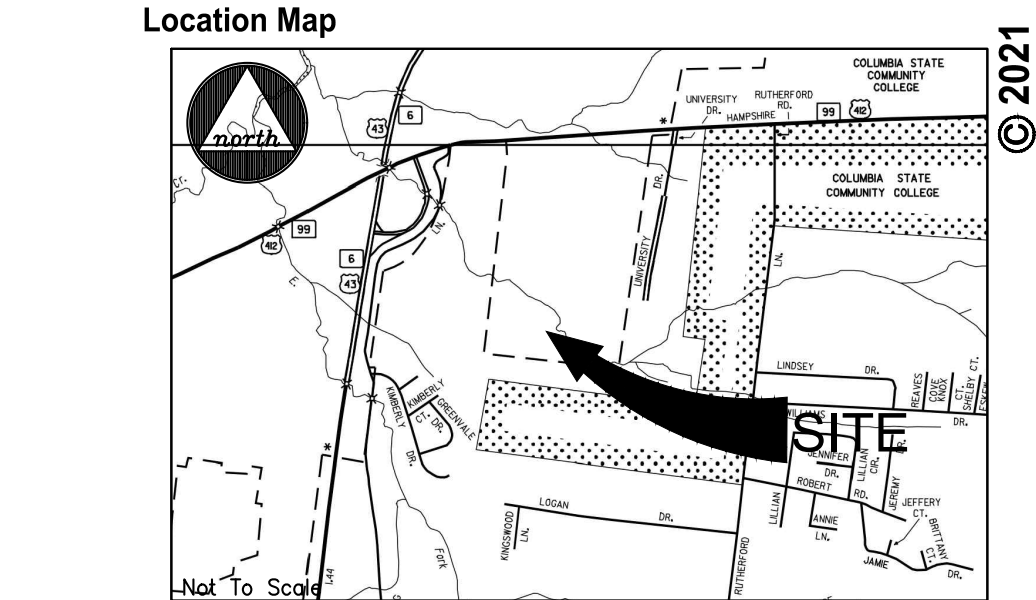
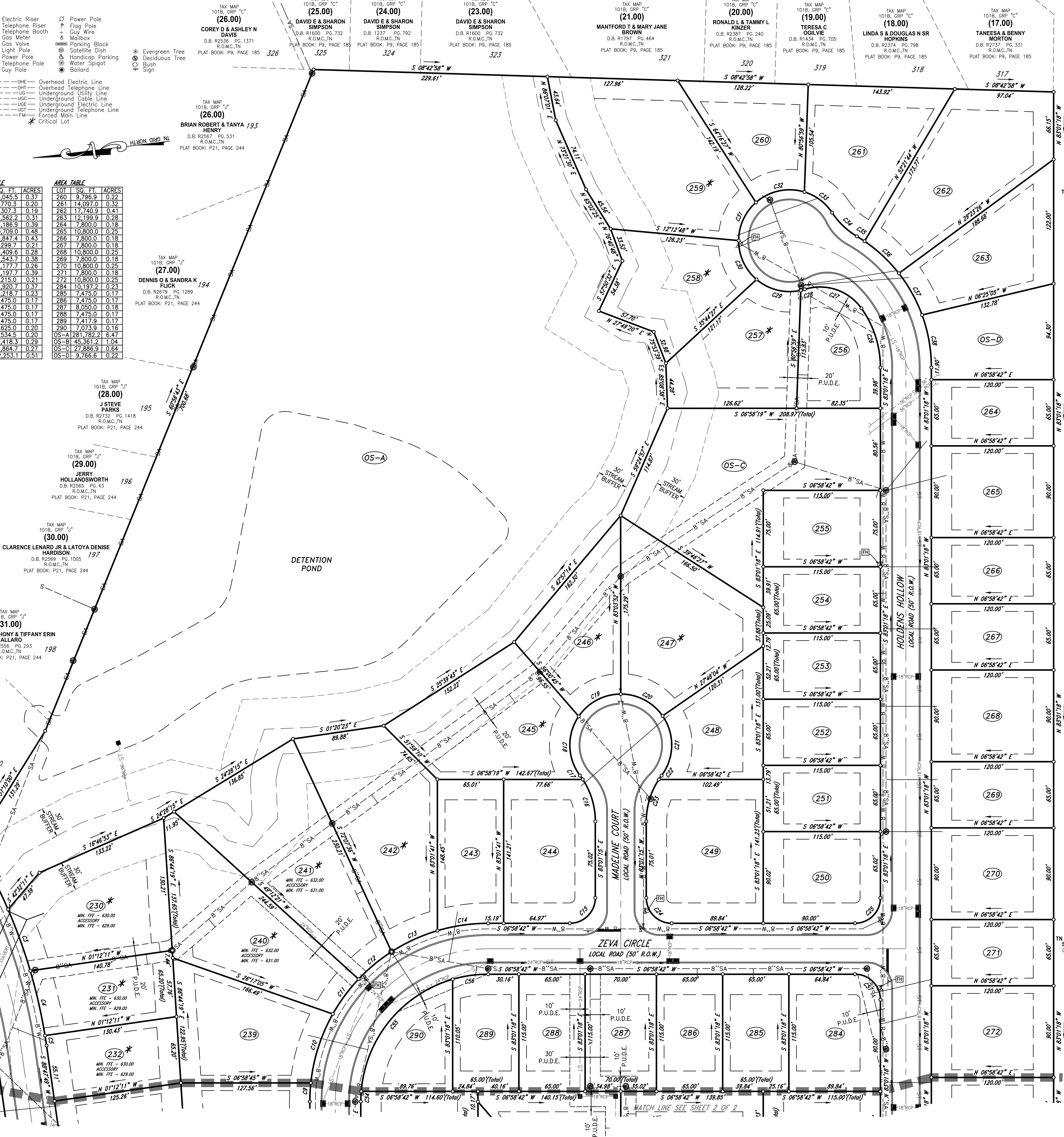
TAX MAP 101B, GRP "J" (34.00)
 ANNAH E REISCHMAN & JACKSON DODD
 MICHAEL S. REISCHMAN
 R.O.M.C., TN
 PLAT BOOK: P21, PAGE 244

TAX MAP 101B, GRP "J" (41.00)
 JAMES P & HARRIET JANE
 ANTIETA
 D.B. R2766 PG. 29
 R.O.M.C., TN
 PLAT BOOK: P21, PAGE 244

TAX MAP 101B, GRP "J" (43.00)
 MYESHA'N
 BAILEY
 D.B. R2476 PG. 809
 R.O.M.C., TN
 PLAT BOOK: P21, PAGE 244

TAX MAP 101B, GRP "J" (44.00)
 LINDA
 BUDEN
 D.B. R2476 PG. 402
 R.O.M.C., TN
 PLAT BOOK: P21, PAGE 244

TAX MAP 101B, GRP "J" (45.00)
 PAUL R
 KRAFT
 D.B. R2728 PG. 467
 R.O.M.C., TN
 PLAT BOOK: P21, PAGE 244



TAX MAP 101B, GRP "J" (14.00)
 TN STATE OF COLUMBIA
 ST COMM COLLEGE
 D.B. 841 PG. 639
 R.O.M.C., TN

PURPOSE NOTE:
 The purpose of this plat is to create 91 single family residential lots.

STORMWATER MANAGEMENT AGREEMENT:
 RECORDED: _____ PAGE: _____
 DEED BOOK: _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

I, (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number B27252, Page 146Z, Maury County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public ways, utilities, and other facilities have been filed.

Date: _____
 Heritage Land Venture II LLC

Title (if acting for partnership or corporation)

CERTIFICATE OF APPROVAL OF STREETS, DRAINAGE, STREET SIGNS, AND UTILITIES

I hereby certify that the streets, drainage, and utilities designated in Armstrong Meadows, Section 4 have been installed in accordance with City Specifications, or a performance surety in the amount of \$ _____ for streets and drainage has been posted with the City of Columbia, Tennessee, to assure completion of such improvements.

Date: _____
 City Engineer
 Columbia, Tennessee

CERTIFICATE OF APPROVAL FOR SUBDIVISION NAME, STREET NAMES, AND STREET SIGNS

Subdivision name and street names approved by the City Engineering Department and by E-911 Maury County.

Date: _____
 Maury County E-911
 Columbia, Tennessee

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that the sewer system outlined or indicated on this final subdivision plat has been installed in accordance with the current local and state government requirements, or a sufficient bond or other has been filed to guarantee said installation.

Date: _____
 Director of Wastewater Department
 Columbia, Tennessee

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I, (we) hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled Armstrong Meadows, Section 4 has/have been installed in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

Date: _____
 Columbia Power & Water Systems
 Columbia, TN

CERTIFICATE OF COMPLIANCE

I hereby certify that the subdivision plat shown hereon has been found to comply with the City of Columbia Subdivision Regulations and other adopted ordinances and policies.

Date: _____
 City Engineer
 Columbia, Tennessee

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the City of Columbia Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register.

Date: _____
 Secretary, Planning Commission

SURVEYOR'S CERTIFICATION (TENNESSEE)

I hereby certify that to the best of my knowledge and belief this is a true and accurate survey of the property shown hereon; that this is a category "I" Land Survey as defined in Title 62, Chapter 18, Tennessee Code Annotated; and that the ratio of precision is greater than or equal to 1:10,000.

Date: 12/20/21
 Allen B. O'Leary
 TN RLS #1987
 Number

TAX MAP 101B, GRP "J" (14.00)
 TN STATE OF COLUMBIA
 ST COMM COLLEGE
 D.B. 841 PG. 639
 R.O.M.C., TN

Register of Deed Recording Stamp
 alleneesengineers.com



WES E ENGINEERS & SURVEYORS
 CIVIL ENGINEERS & LAND SURVEYORS
 2486 NASHVILLE HIGHWAY
 COLUMBIA, TN 38401
 PHONE: (931) 388-2829
 www.wesengineers.com

ENGINEERS & SURVEYORS

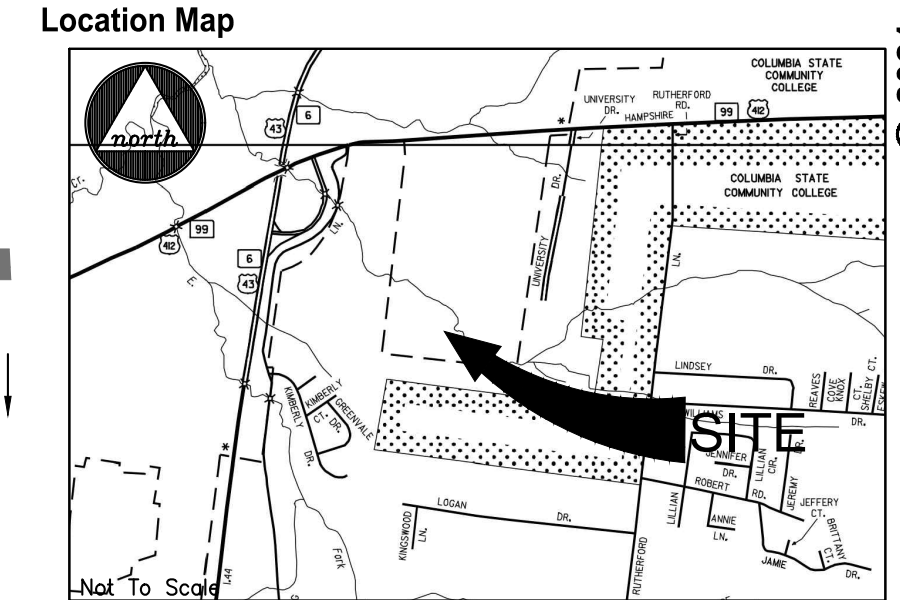
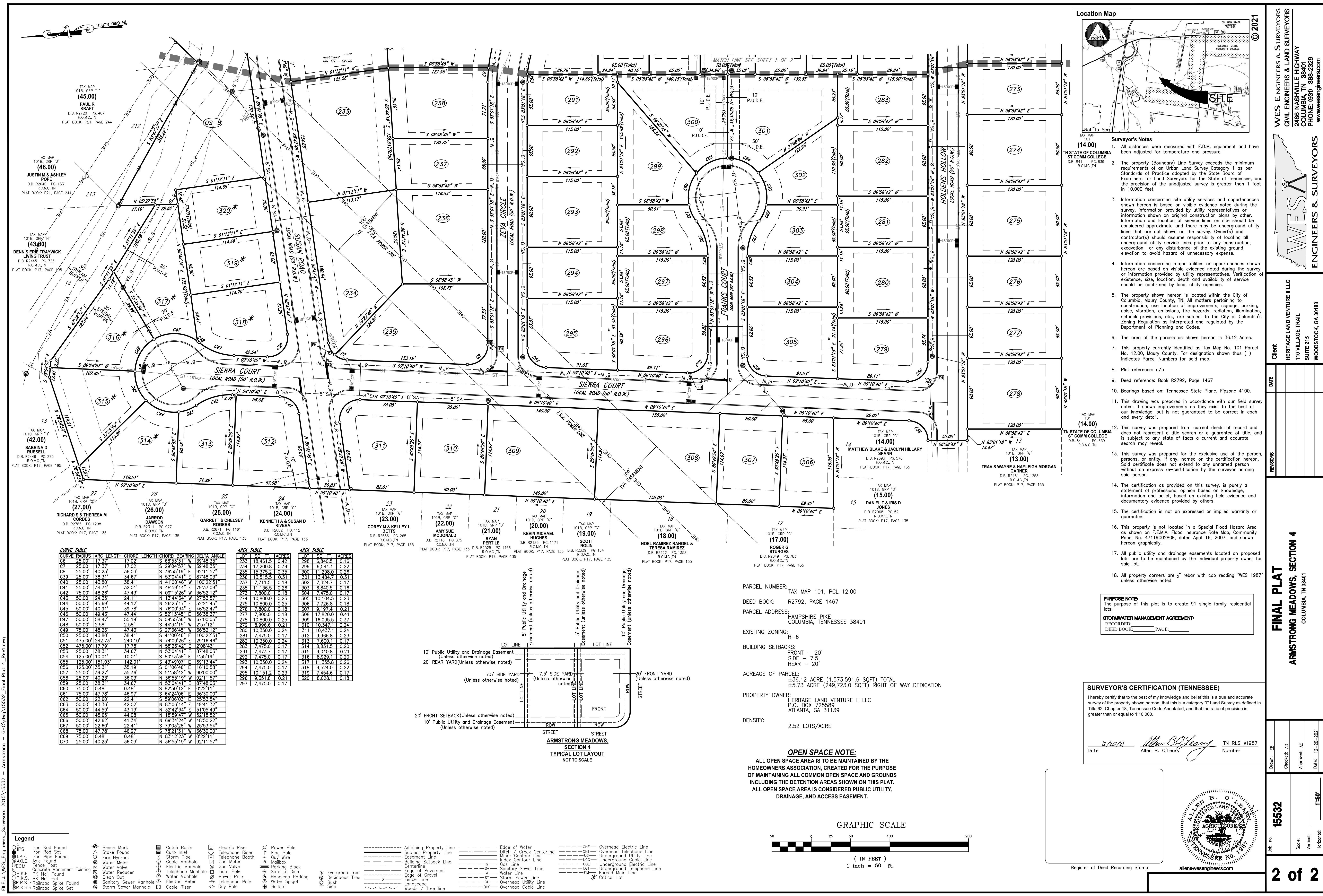
Client: HERITAGE LAND VENTURE II LLC
 110 Village Trail
 SUITE 215
 WOODSTOCK, GA 30188

Drawn: EP
 Checked: AD
 Approved: AD
 Date: 12-20-2021

Job No. 15552
 Scale: Vertical: 1"=50'
 Horizontal: 1"=50'

FINAL PLAT
ARMSTRONG MEADOWS, SECTION 4
 COLUMBIA, TN 38401

1 of 2



Surveyor's Notes
 (14.00)
 1. All distances were measured with E.D.M. equipment and have been adjusted for temperature and pressure.
 2. The property (Boundary) Line Survey exceeds the minimum requirements of an Urban Land Survey Category 1 as per Standards of Practice adopted by the State Board of Examiners for Land Surveyors for the State of Tennessee, and the precision of the unadjusted survey is greater than 1 foot in 10,000 feet.
 3. Information concerning site utility services and appurtenances shown hereon is based on visible evidence noted during the survey, information provided by utility representatives or information shown on original construction plans by other. Information and location of service lines on site should be considered approximate and there may be underground utility lines that are not shown on the survey. Owner(s) and contractor(s) should assume responsibility of locating all underground utility service lines prior to any construction, excavation or any disturbance of the existing ground elevation to avoid hazard of unnecessary expense.
 4. Information concerning major utilities or appurtenances shown hereon is based on visible evidence noted during the survey or information provided by utility representatives. Verification of existence, size, location, depth and availability of service should be confirmed by local utility agencies.
 5. The property shown hereon is located within the City of Columbia, Maury County, TN. All matters pertaining to construction, use location of improvements, signage, parking, noise, vibration, emissions, fire hazards, radiation, illumination, setback provisions, etc., are subject to the City of Columbia's Zoning Regulation as interpreted and regulated by the Department of Planning and Codes.
 6. The area of the parcels as shown hereon is 36.12 Acres.
 7. This property currently identified as Tax Map No. 101 Parcel No. 12.00, Maury County. For designation shown thus () indicates Parcel Numbers for said map.
 8. Plat reference: n/a
 9. Deed reference: Book R2792, Page 1467
 10. Bearings based on: Tennessee State Plane, Fitzpene 4100.
 11. This drawing was prepared in accordance with our field survey notes. It shows improvements as they exist to the best of our knowledge, but is not guaranteed to be correct in each and every detail.
 12. This survey was prepared from current deeds of record and does not represent a title search or a guarantee of title, and is subject to any state of facts a current and accurate search may reveal.
 13. This survey was prepared for the exclusive use of the person, persons, or entity, if any, named on the certification hereon. Said certificate does not extend to any unnamed person without an express re-certification by the surveyor naming said person.
 14. The certification as provided on this survey, is purely a statement of professional opinion based on knowledge, information and belief, based on existing field evidence and documentary evidence provided by others.
 15. The certification is not an expressed or implied warranty or guarantee.
 16. This property is not located in a Special Flood Hazard Area as shown on F.E.M.A. Flood Insurance Rate Map, Community Panel No. 47119C0280C, dated April 16, 2007, and shown hereon graphically.
 17. All public utility and drainage easements located on proposed lots are to be maintained by the individual property owner for said lot.
 18. All property corners are 1/2" rebar with cap reading "WES 1987" unless otherwise noted.

PURPOSE NOTE
 The purpose of this plat is to create 91 single family residential lots.
STORMWATER MANAGEMENT AGREEMENT:
 RECORDED:
 DEED BOOK: _____ PAGE: _____

SURVEYOR'S CERTIFICATION (TENNESSEE)
 I hereby certify that to the best of my knowledge and belief this is a true and accurate survey of the property shown hereon; that this is a category "1" Land Survey as defined in Title 62, Chapter 18, Tennessee Code Annotated, and that the ratio of precision is greater than or equal to 1:10,000.

Date: 12/20/21
 Approved: *Allen O'Leary*
 Number: TN RLS #1987

Register of Deed Recording Stamp
 alleneesurveyors.com

15592
 Scale: Vertical: Horizontal: 1"=50'

2 of 2

WES ENGINEERS & SURVEYORS
 CIVIL ENGINEERS & LAND SURVEYORS
 2486 NASHVILLE HIGHWAY
 COLUMBIA, TN 38401
 PHONE: (601) 388-2929
 www.wesengineers.com

HERITAGE LAND VENTURE II LLC
 110 VILLAGE TRAIL
 SUITE 215
 WOODSTOCK, GA 30188

Client: HERITAGE LAND VENTURE II LLC
 DATE: _____
 REVISIONS: _____

FINAL PLAT
 ARMSTRONG MEADOWS, SECTION 4
 COLUMBIA, TN 38401

Drawn: EP
 Checked: AD
 Approved: AD
 Date: 12-20-2021

Job No. 15592
 Scale: Vertical: Horizontal: 1"=50'

15592

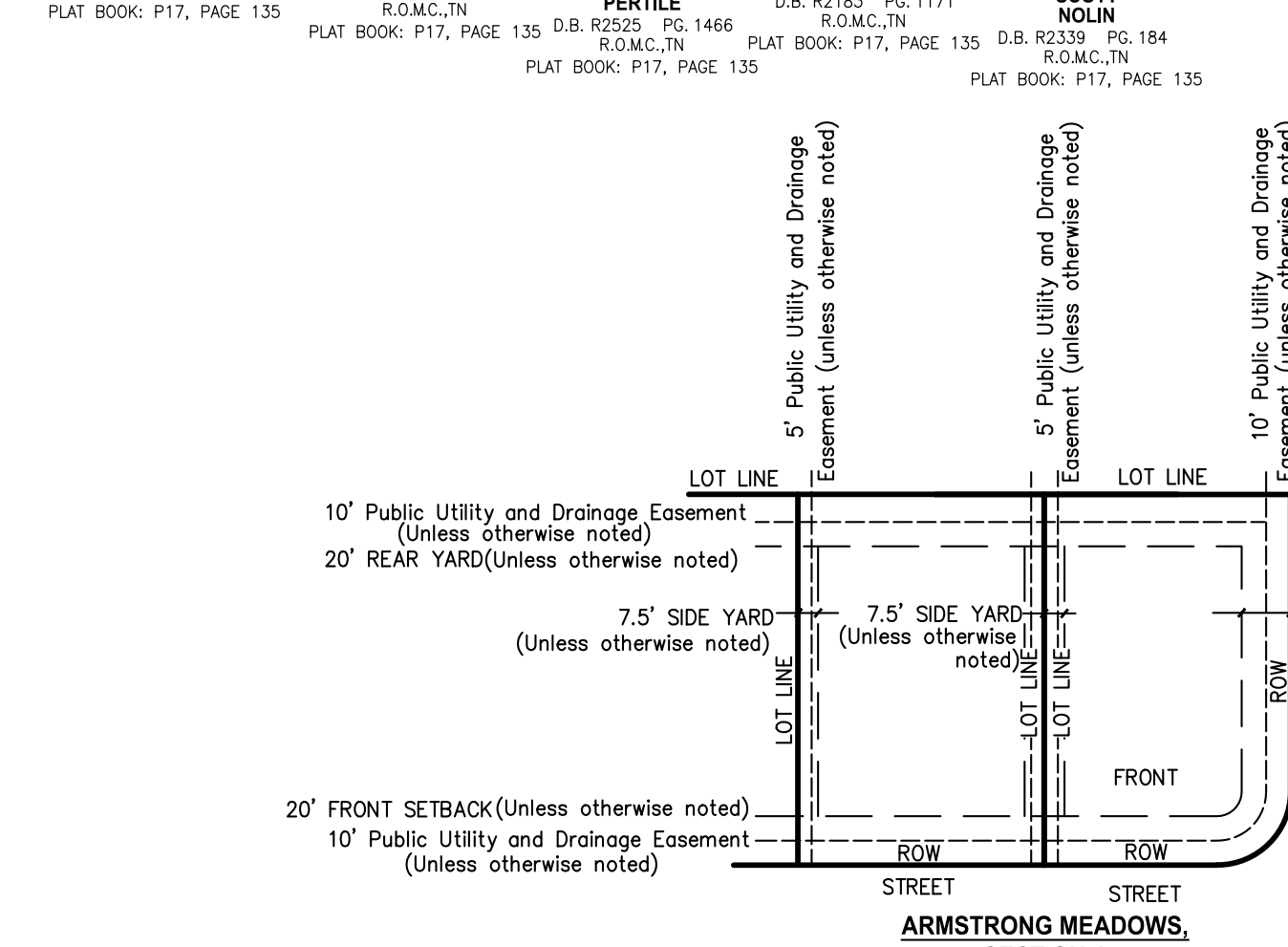
2 of 2

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C6	25.00	17.37	17.02	S 68°53'31" W	39°48'35"
C7	25.00	17.37	17.02	S 29°04'51" W	39°48'35"
C8	25.00	40.23	36.03	S 36°59'19" E	92°11'57"
C9	25.00	38.31	34.67	N 53°04'41" E	87°48'03"
C40	25.00	43.80	38.41	N 41°00'46" W	100°22'51"
C41	25.00	34.74	32.01	N 48°59'14" E	79°17'09"
C42	75.00	48.26	47.43	N 09°15'26" W	36°52'12"
C43	50.00	24.35	24.11	N 13°44'34" W	27°53'57"
C44	50.00	45.69	44.12	N 26°23'17" E	52°21'48"
C45	50.00	40.91	39.78	N 78°00'14" E	46°52'47"
C46	50.00	49.43	47.44	S 52°13'45" E	56°38'37"
C47	50.00	58.47	55.19	S 09°35'36" W	67°00'05"
C48	50.00	12.58	12.58	S 44°34'19" E	25°12'12"
C49	75.00	48.26	47.43	S 27°36'45" W	36°52'12"
C50	25.00	43.80	38.41	S 41°00'46" E	100°22'51"
C51	475.00	242.73	240.10	N 74°09'26" E	29°18'46"
C52	475.00	17.79	17.79	N 82°29'42" E	2°08'43"
C53	25.00	38.31	34.67	N 53°04'41" E	87°48'03"
C54	125.00	10.01	10.01	S 80°43'38" E	4°35'19"
C55	125.00	151.03	142.01	S 43°49'07" E	69°13'44"
C56	125.00	35.31	35.19	S 01°08'46" E	16°10'58"
C57	25.00	39.27	35.36	S 51°58'42" W	80°00'00"
C58	25.00	40.23	36.03	N 36°59'19" W	92°11'57"
C59	25.00	38.31	34.67	N 53°04'41" E	87°48'03"
C60	75.00	10.48	10.48	S 82°50'12" E	0°22'11"
C61	75.00	47.78	46.97	S 64°24'06" E	36°30'00"
C62	50.00	22.60	22.41	S 59°00'03" E	25°33'54"
C63	50.00	43.36	42.02	N 83°06'14" E	48°41'32"
C64	50.00	44.59	43.13	N 32°42'34" E	51°08'49"
C65	50.00	45.65	44.08	N 18°39'47" W	52°18'52"
C66	50.00	42.62	41.34	N 63°47'24" W	48°50'22"
C67	50.00	22.60	22.41	S 73°03'28" W	25°53'54"
C68	75.00	47.78	46.97	S 78°21'31" W	36°30'00"
C69	75.00	10.48	10.48	N 83°14'29" E	0°22'11"
C70	25.00	40.23	36.03	N 36°59'19" W	92°11'57"

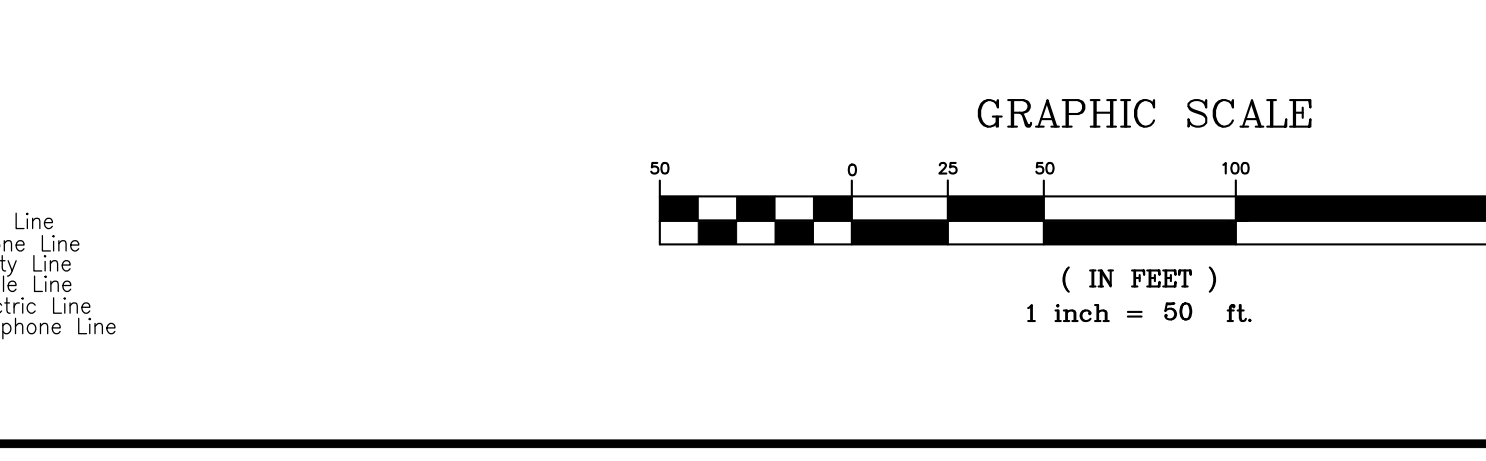
AREA TABLE

LOT	SQ. FT.	ACRES
233	68,533.31	1.57
234	18,461.5	0.42
235	17,200.8	0.39
236	15,375.2	0.35
237	13,515.5	0.31
238	7,711.5	0.18
239	11,135.5	0.26
240	7,800.0	0.18
241	7,800.0	0.18
242	7,800.0	0.18
243	10,800.0	0.25
244	10,800.0	0.25
245	7,265.8	0.17
246	7,800.0	0.18
247	7,800.0	0.18
248	16,095.5	0.37
249	8,995.6	0.21
250	10,347.1	0.24
251	10,437.1	0.24
252	9,966.8	0.23
253	7,800.1	0.17
254	7,475.0	0.17
255	8,815.5	0.20
256	9,040.8	0.21
257	8,929.1	0.20
258	11,355.8	0.26
259	7,475.0	0.17
260	9,524.0	0.22
261	7,454.6	0.17
262	9,351.8	0.21
263	7,475.0	0.17



PARCEL NUMBER: TAX MAP 101, PCL 12.00
 DEED BOOK: R2792, PAGE 1467
 PARCEL ADDRESS: HAMPSHIRE PIKE COLUMBIA, TENNESSEE 38401
 EXISTING ZONING: R-6
 BUILDING SETBACKS: FRONT - 20'
 SIDE - 7.5'
 REAR - 20'
 ACREAGE OF PARCEL: ±36.12 ACRE (1,573,591.6 SQFT) TOTAL
 ±5.73 ACRE (249,723.0 SQFT) RIGHT OF WAY DEDICATION
 PROPERTY OWNER: HERITAGE LAND VENTURE II LLC
 P.O. BOX 1725583
 ATLANTA, GA 31139
 DENSITY: 2.52 LOTS/ACRE

OPEN SPACE NOTE:
 ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT. ALL OPEN SPACE AREA IS CONSIDERED PUBLIC UTILITY, DRAINAGE, AND ACCESS EASEMENT.



Legend

EP Iron Rod Found	Stake Found	Water Meter	Water Valve	Water Reducer	Sanitary Sewer Manhole	Storm Sewer Manhole	Electric Riser	Telephone Riser	Telephone Booth	Gas Meter	Gas Valve	Light Pole	Power Pole	Overhead Telephone Pole	Telephone Pole	Guy Pole	Power Pole	Flag Pole	Mailbox	Handicap Parking	Water Spigot	Ballard	Evergreen Tree	Deciduous Tree	Sign
Adjoining Property Line	Subject Property Line	Easement Line	Building Setback Line	Edge of Pavement	Edge of Grovel	Fence Line	Landscaping	Wooded / Tree Line	Ditch / Creek Centerline	Minor Contour Line	Index Contour Line	Gas Line	Sanitary Sewer Line	Overhead Utility Line	Storm Sewer Line	Overhead Utility Line	Overhead Cable Line	Overhead Electric Line	Overhead Telephone Line	Underground Utility Line	Underground Cable Line	Underground Electric Line	Underground Telephone Line	Forced Main Line	Critical Lot